

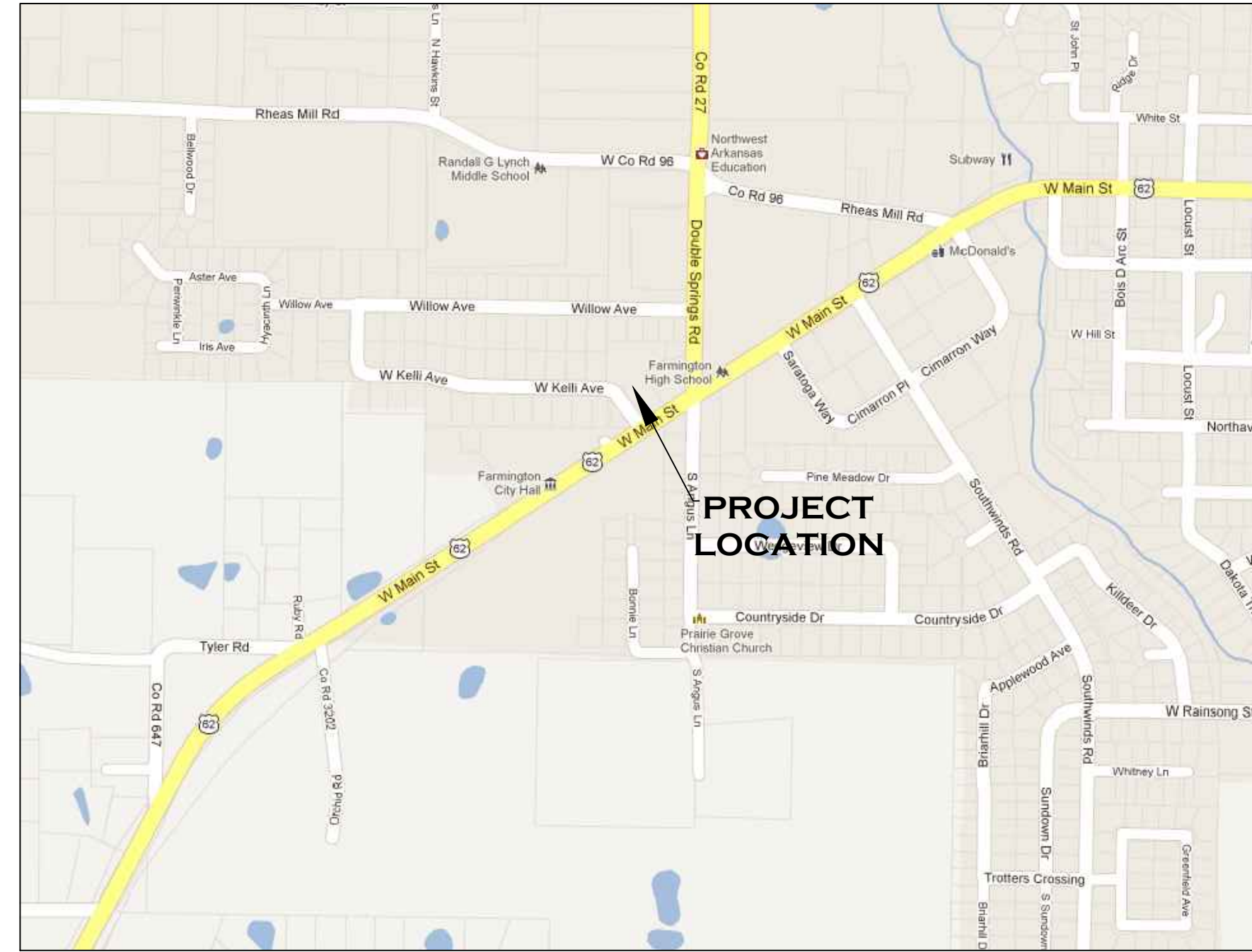
# DOMINO'S PIZZA

## FARMINGTON, ARKANSAS

### SITE CONSTRUCTION PLANS

#### GENERAL NOTES TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
3. EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
4. PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
5. PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
6. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
7. CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES.
8. CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. CONTRACTOR SHALL ADJUST AND/OR NEATLY CUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND TRANSITION.
11. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
12. DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE.
13. THE CONSTRUCTION AND INSTALLATION OF WATER AND SANITARY SEWER UTILITIES SHALL BE IN COMPLIANCE WITH THE CITY OF FARMINGTON'S WATER AND SEWER SPECIFICATIONS, PROCEDURES AND DETAILS.
14. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF FARMINGTON'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
15. ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.



**BASIS OF BEARING:**  
GPS OBSERVATION - AR NORTH ZONE  
NAD83(2011) HORIZONTAL DATUM

**VICINITY MAP**  
N.T.S.

**BASIS OF ELEVATION:**  
ON-SITE NETWORK GPS OBSERVATION  
NAVD88 VERTICAL DATUM

**SURVEY DESCRIPTION:**  
**TRACT B:**  
A PART OF THE WEST HALF OF SECTION 27, TOWNSHIP 16 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 27 AND RUNNING THENCE THENCE N02°03'19"E 163.78', THENCE S84°41'44"W 140.29', THENCE S59°17'18"W 114.28', THENCE S30°42'08"E 197.61', THENCE S58°29'32"W 60.01' TO A POINT ON THE NORTH RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY #62 AND THE TRUE POINT OF BEGINNING AND THENCE ALONG SAID RIGHT-OF-WAY S58°29'32"W 76.89' TO THE EASTERN LINE OF RED BIRD ESTATES, THENCE ALONG SAID EASTERN LINE N34°38'22"W 203.55', THENCE LEAVING SAID EASTERN LINE N59°17'18"E 90.86', THENCE S30°42'08"W 202.00' TO THE POINT OF BEGINNING, CONTAINING 0.39 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS THE 17TH DAY OF AUGUST, 2012.



IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL AND NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

**VARIANCES TO BE REQUESTED**  
1.) SEC. 14.04.20 LANDSCAPED SIDE & BACK PERIMETER BUFFER REQUIREMENTS  
2.) SEC.14.04.21 LANDSCAPING REQUIREMENTS IMMEDIATELY ADJACENT TO BUILDING(S) FRONT

**ZONING REGULATIONS C-2(HIGHWAY COMMERCIAL)**  
MIN LAND SQ.FT. N/A  
MIN LAND AREA SQ.FT./D.U. N/A  
LOT FRONTAGE: 50 FEET  
CORNER LOT: 35 FEET  
LOT COVERAGE: 60% MAX  
HEIGHT REQUIREMENTS: 40 FEET MAX

**SETBACKS:**  
FRONT: 50 FEET  
SIDE: 25 FEET  
REAR: 20 FEET  
\*\*STREET SIDE SETBACKS ADJACENT TO RESIDENTIAL ZONES WILL BE 15 FEET

**GREENSPACE CALCULATIONS:**  
GROSS AREA OF SITE: 72666.86  
IMPERVIOUS AREA: 21492.86(30.2%)  
GREENSPACE: 21942.86(69.8%)

**PARKING CALCULATIONS:**  
USE: DRIVE THROUGH RESTAURANT(COMMERCIAL)  
1 SPACE PER 300 SQ.FT. OF FLOOR AREA

SQ.FT. FLOOR AREA: 2070 SQ.FT.  
CALCULATION: 2070/300=6.9(7)  
STANDARD PARKING REQUIRED: 7 SPACES  
STANDARD PARKING PROVIDED: 7 SPACES  
ADA SPACES REQ./PRO.: 1 SPACE  
TOTAL PARKING PROVIDED: 19 SPACES

#### INDEX OF DRAWINGS

- 01 COVER SHEET
- 02 EXISTING SITE + DEMO PLAN
- 03 SITE PLAN
- 04 UTILITY PLAN
- 05 GRADING, DRAINAGE, + EROSION CONTROL PLAN
- 06 LANDSCAPE PLAN
- 07-08 DETAILS

**PARCEL NUMBERS:** 760-01618-000  
**PROJECT SITE ADDRESS:** ARKANSAS HIGHWAY 62 & W KELLI AVE FARMINGTON, ARKANSAS  
**ZONING CLASSIFICATION:** C-2 HIGHWAY COMMERCIAL  
**PROPOSED USE:** DELIVERY/DRIVE-THRU RESTAURANT  
**OWNER/DEVELOPER:** A & M PIZZA REAL ESTATE, LLC  
C/O ART HURTEAU  
4042 W REPUBLIC RD  
BATTLEFIELD, MO  
PHONE: (417) 353-1726  
**ENGINEER/SURVEYOR:** BATES & ASSOCIATES, INC.  
7230 S. PLEASANT RIDGE DR.  
FAYETTEVILLE, AR 72704  
PHONE: (479) 442-9350  
FAX: (479) 521-9350

**CITY NOTES:**  
REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH CITY CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE DEVELOPER OF ANY REQUIREMENTS, EVEN IF ERRORS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE CITY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THE PLANS OR SPECIFICATIONS. ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION.

**FLOOD CERTIFICATION:**  
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS.  
(FIRM PANEL #05143C0195F. MAY 16, 2008)

**GENERAL SURVEY NOTE:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**OWNERSHIP OF DOCUMENTS**  
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF BATES & ASSOCIATES, INC., AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES & ASSOCIATES, INC.

**SAFETY NOTICE TO CONTRACTOR**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.  
THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE.

**ENGINEER'S NOTICE TO CONTRACTOR**  
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.

**CONTACT INFORMATION**

<b>PLANNING &amp; ZONING:</b>	MELISSA MCCARVILLE CITY BUSINESS MANAGER 354 WEST MAIN FARMINGTON, AR 72730 PHONE: (479)267-3865 FAX: (479)267-3805	<b>WATER &amp; SEWER:</b>	CITY OF FAYETTEVILLE TIM NYANDER, P.E. 125 W. MOUNTAIN AVE. FAYETTEVILLE, AR 72701 PHONE: (479) 575-8206
<b>PUBLIC WORKS:</b>	DAN LEDBETTER PUBLIC WORKS DIRECTOR 354 WEST MAIN FARMINGTON, AR 72730 PHONE: (479)267-3865 FAX: (479)267-3805	<b>GAS:</b>	SOURCE GAS 655 E. MILLSAP RD. FAYETTEVILLE, AR 72701 (800)563-0012
<b>FIRE DEPT:</b>	MARK CUNNINGHAM FIRE CHIEF 372 WEST MAIN P.O. BOX 150 FARMINGTON, AR 72730 PHONE: (479)267-3338 FAX: (479)267-3302	<b>ELECTRIC:</b>	AEP SWPCO NANCY GUISINGER FAYETTEVILLE DISTRICT PHONE: (479) 973-2351
		<b>WASTE:</b>	WASTE MANAGEMENT SYSTEMS 11979 ARBOR ACRES RD FAYETTEVILLE, AR 72701 PHONE: (800)443-5558
		<b>TELEPHONE:</b>	RAIRIE GROVE TELEPHONE CO 139 MOCK ST RAIRIE GROVE, AR 72753 PHONE: (479)267-7200



ENGINEER: G. BATES  
DRAWN BY: B. WATTS  
02/18/2012  
STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER No. 9810 GEEFREY H. BATES  
BATES & ASSOCIATES, INC. #335  
CERTIFICATE OF AUTHORITY  
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REVISIONS	DATE
PRE-SUBMITTAL PLAN PREPARATION	01/23/12
2ND SUBMITTAL	02/13/12

DOMINO'S PIZZA  
LARGE SCALE DEVELOPMENT  
COVER SHEET  
FARMINGTON, ARKANSAS

**BATES**  
Engineers - Surveyors  
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704  
PH: (479) 442-9350 / batesnwa.com

PROJECT NO. 13-208  
DRAWING NO. 01



- ADJACENT PROPERTY OWNERS
- 1.) PARCEL# 760-01226-000  
COOK, CALEB COOK KIMBERLY  
302 W KELLI AVE  
FARMINGTON, AR 72730-2603  
ZONING: R-1
  - 2.) PARCEL# 760-01225-000  
SCALES, DOLL & LEE ESTER  
301 W WILLOW AVE  
FARMINGTON, AR 72730-2609  
ZONING: R-1
  - 3.) PARCEL# 760-01645-000  
HUTCHINS, KATHY ANN  
PO BOX 1387  
FARMINGTON, AR 72730  
ZONING: R-1
  - 4.) PARCEL# 760-01644-000  
MARSHALL, WESLEY E  
295 W WILLOW AVE  
FARMINGTON, AR 72730  
ZONING: R-1
  - 5.) PARCEL# 760-01643-000  
BONHAM FAMILY TRUST  
631 MCKNIGHT AVE  
WEST FORK, AR 72774-3212  
ZONING: R-1
  - 6.) PARCEL# 760-01642-000  
MMOS LLC  
10 W COLONIAL DR  
ROGERS, AR 72758  
ZONING: R-1
  - 7.) PARCEL# 760-01618-001  
DEESE, RONALD L II & TERESA  
PO BOX 149  
FARMINGTON, AR 72730  
ZONING: C-2
  - 8.) PARCEL# 760-01618-003  
CT PA LLC  
140 CARNOUSTIE DR  
FREMONT, AL 35124  
ZONING: C-2
  - 9.) PARCEL# 760-01632-000  
CASEY'S MARKETING COMPANY  
PO BOX 54268  
LEXINGTON KY 40555  
ZONING: C-2
  - 10.) PARCEL# 760-01626-001  
CASEY'S MARKETING COMPANY  
PO BOX 54268  
LEXINGTON KY 40555  
ZONING: C-2
  - 11.) PARCEL# 760-01626-004  
HILLCREST HOLDINGS LLC  
PO BOX 564  
JOHNSON, AR 72741  
ZONING: C-2
  - 12.) PARCEL# 760-01619-000  
HENDERSON, JOHN CHARLES  
304 W KELLI AVE  
FARMINGTON AR 72730  
ZONING: C-2

PROPOSED	EXISTING	DESCRIPTION
---	---	ACCESS EASEMENT
---	---	ASPHALT (EDGE)
---	---	ASPHALT (SURFACE)
○	○	BOLLARD
---	---	BUILDING
---	---	BUILDING SETBACK LINE
---	---	CABLE TV (UNDERGROUND)
---	---	CENTERLINE
---	---	CONCRETE (EDGE)
---	---	CONCRETE (SURFACE)
---	---	CONDUIT
---	---	CONTOURS
---	---	CURB & GUTTER
---	---	DRAINAGE FLOW
---	---	DUMPSTER
---	---	UTILITY EASEMENT
---	---	ELECTRICAL (UNDERGROUND)
---	---	ELECTRICAL (OVERHEAD)
---	---	ELECT. TRANSFORMER
---	---	EROSION CONTROL FENCE
---	---	EROSION CONTROL BMP-RAP
---	---	FENCE (EX. WIRE SCREENING)
---	---	FIBER OPTIC CABLE
---	---	FIRE HYDRANT ASSEMBLY
---	---	FLOORING
---	---	FORCE MAIN
---	---	GAS MAIN
---	---	GAS METER/VALVE
---	---	GRAVEL (EDGE)
---	---	GRAVEL (SURFACE)
---	---	IRON PIPE - (RE-BAR)
---	---	LIGHT
---	---	POND
---	---	POWER POLE
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	RIGHT-OF-WAY
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER PIPE
---	---	SANITARY SEWER SERVICE
---	---	SECTION/TIE LINE
---	---	SIDEWALK
---	---	SIGN
---	---	SPOT ELEVATION
---	---	STABILIZED CONSTRUCTION ENT.
---	---	STORM SEWER INLET
---	---	STORM SEWER PIPE
---	---	STRIPES (PAINTED OR STICKY)
---	---	TELEPHONE PFD/MANHOLE
---	---	TELEPHONE (UNDERGROUND)
---	---	TREE LINE CANOPY
---	---	TREE/TREE TO BE REMOVED
---	---	WATER MAIN BLOWOFF VALVE
---	---	WATER MAIN FIRE DEPT. CONN.
---	---	WATER MAIN PIPE
---	---	WATER MAIN REDUCER
---	---	WATER MAIN THRUST BLOCK
---	---	WATER METER
---	---	WATER METER (IRRIGATION)
---	---	WATER VALVE

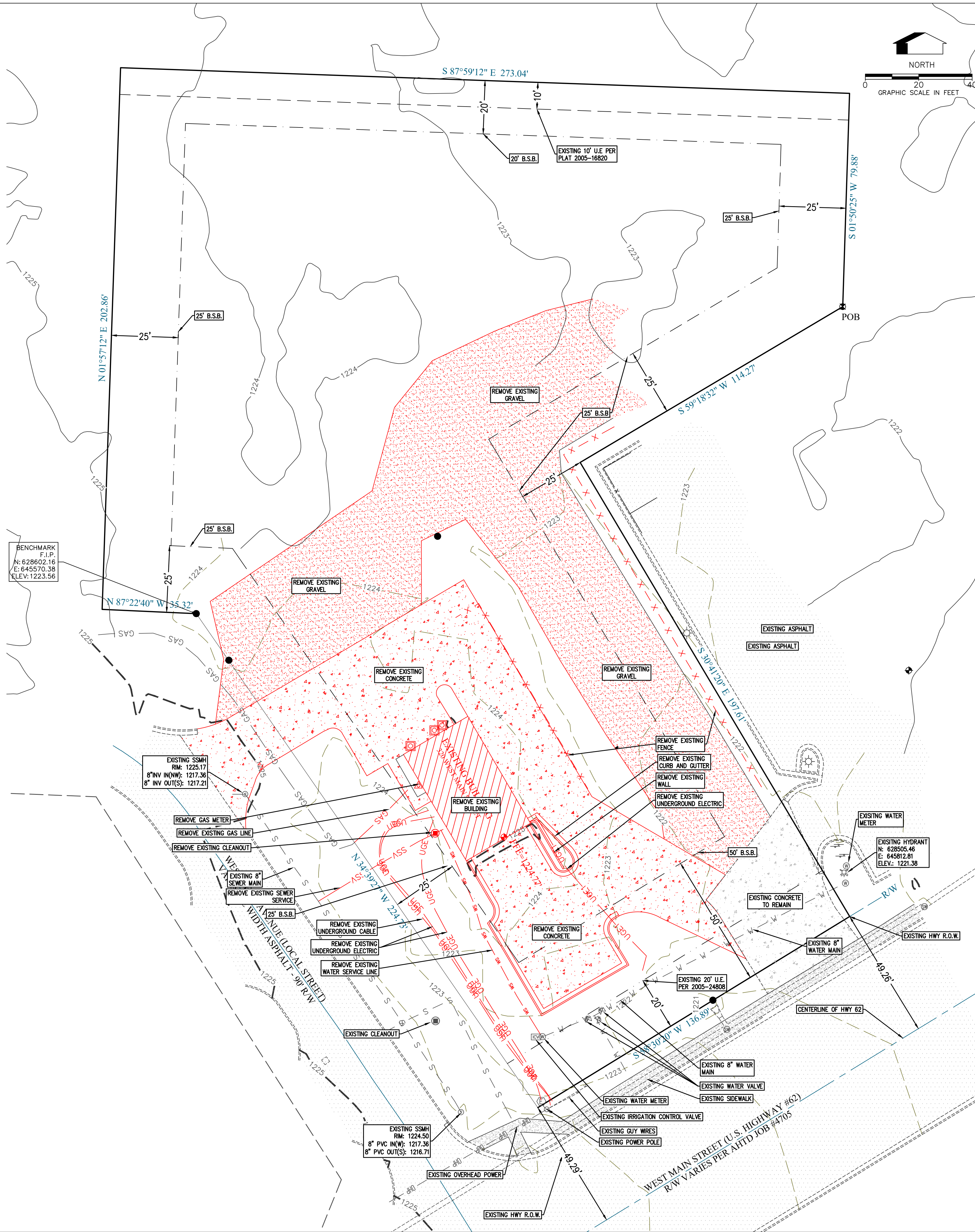
PROPERTY ZONED:  
C-2

C-2 BUILDING SETBACKS:  
FRONT 50R  
SIDE 25R  
REAR 20R  
\*SIDE ADJACENT TO RESIDENTIAL 15R

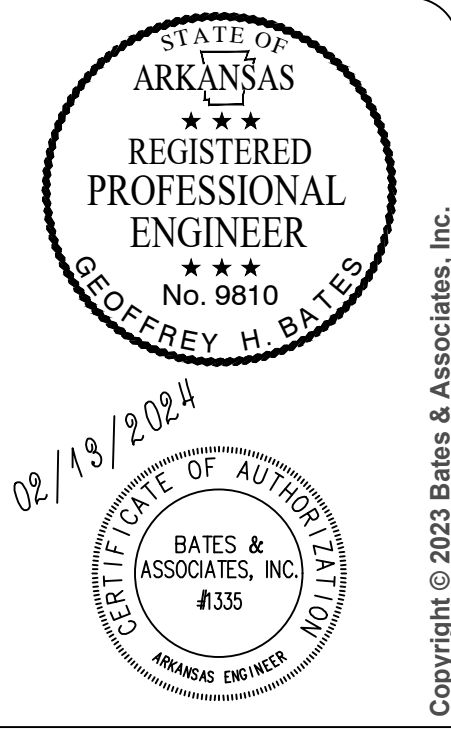
- REFERENCE DOCUMENTS:
- 1) WARRANTY DEED FILED IN BOOK 2006 AT PAGE 37565
  - 2) FINAL PLAT OF RED BIRD ESTATES #2 FILED IN PLAT BOOK 10 AT PAGE 23
  - 3) ARKANSAS STATE HIGHWAY COMMISSION RIGHT-OF-WAY MAP U.S. HWY #62 JOB #4705
  - 4) WARRANTY DEED FILED IN BOOK 1300 AT PAGE 31
  - 5) FINAL PLAT OF RED BIRD ESTATES FILED IN BOOK 7 AT PAGE 97
  - 6) PLAT OF SURVEY FILED IN BOOK 2005 AT PAGE 16820

SURVEY DESCRIPTION:  
OVERALL PARCEL #760-01618-000:  
A PART OF THE WEST HALF OF SECTION 27, TOWNSHIP 16 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING REBAR WHICH IS N02°04'07"E 163.76' AND S84°42'32"W 140.29' FROM THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 27 AND RUNNING THENCE S89°18'32"W 114.12' TO AN EXISTING REBAR, THENCE S30°41'20"E 197.61' TO NORTH RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY #62, THENCE ALONG SAID RIGHT-OF-WAY S88°30'20"W 136.89' TO THE EASTERN LINE OF RED BIRD ESTATES, THENCE ALONG SAID EASTERN LINE THE FOLLOWING: N34°02'27"W 224.71', N87°22'00"W 15.32' TO A CONCRETE MONUMENT, N01°57'12"E 202.86' TO AN EXISTING FENCE CORNER POST, THENCE LEAVING SAID EASTERN LINE S87°59'12"E 27.00' TO AN EXISTING REBAR, THENCE S01°50'25"W 79.88' TO THE POINT OF BEGINNING, CONTAINING 1.67 ACRES, MORE OR LESS, SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

FLOOD CERTIFICATION:  
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS.  
(FIRM PANEL #01430195E, MAY 16, 2008)



ENGINEER: G. BATES  
DRAWN BY: B. WATTS



REVISIONS	DATE
PRE-SUBMITTAL PLAN PREPARATION	01/23/24
2ND SUBMITTAL	02/13/24

DOMINO'S PIZZA  
LARGE SCALE DEVELOPMENT  
EXISTING SITE &  
DEMOLITION PLAN  
FARMINGTON, ARKANSAS

**BATES**  
Engineers - Surveyors  
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704  
PH: (479) 442-9350 / batesnwa.com

PROJECT NO: 13-208  
DRAWING NO: 02



**ZONING REGULATIONS C-2(HIGHWAY COMMERCIAL)**

MIN LAND SQ.FT. N/A  
 MIN LAND AREA SQ.FT./D.U. N/A  
 LOT FRONTAGE: 50 FEET  
 CORNER LOT: 35 FEET  
 LOT COVERAGE: 60% MAX  
 HEIGHT REQUIREMENTS: 40 FEET MAX

**SETBACKS:**  
 FRONT: 50 FEET  
 SIDE: 25 FEET  
 REAR: 20 FEET  
 \*\*STREET SIDE SETBACKS ADJACENT TO RESIDENTIAL ZONES WILL BE 15 FEET

**GREENSPACE CALCULATIONS:**  
 GROSS AREA OF SITE: 72666.86  
 IMPERVIOUS AREA: 21492.86(30.2%)  
 GREENSPACE: 21942.86(69.8%)

**PARKING CALCULATIONS:**  
 USE: DRIVE THROUGH RESTAURANT(COMMERCIAL)  
 1 SPACE PER 300 SQ.FT. OF FLOOR AREA

SQ.FT. FLOOR AREA: 2070 SQ.FT.  
 CALCULATION: 2070/300=6.9(7)  
 STANDARD PARKING REQUIRED: 7 SPACES  
 STANDARD PARKING PROVIDED: 18 SPACES  
 ADA SPACES REQ./PRO.: 1 SPACE

TOTAL PARKING PROVIDED: 19 SPACES

PROPOSED	EXISTING	DESCRIPTION
AE	AE	ACCESS EASEMENT
AS	AS	ASPHALT (SURFACE)
B	B	BOLLARD
BL	BL	BUILDING SETBACK LINE
CU	CU	CABLE TV (UNDERGROUND)
CE	CE	CONCRETE (EDGE)
CS	CS	CONCRETE (SURFACE)
CO	CO	CONDUIT
CO	CO	CONTOURS
CU	CU	CURB & GUTTER
DF	DF	DRAINAGE FLOW
DU	DU	DUMPSTER
UE	UE	UTILITY EASEMENT
EL	EL	ELECTRICAL (UNDERGROUND)
EL	EL	ELECTRICAL (OVERHEAD)
ET	ET	ELECT. TRANSFORMER
EF	EF	EROSION CONTROL FENCE
EF	EF	EROSION CONTROL RIP-RAP
EF	EF	FENCE (EX. WIRE/PR. SCREENING)
FO	FO	FIBER OPTIC CABLE
FI	FI	FIRE HYDRANT ASSEMBLY
FM	FM	FLOWLINE
FM	FM	FORCE MAIN
GM	GM	GAS METER/VALVE
GE	GE	GRAVEL (EDGE)
GS	GS	GRAVEL (SURFACE)
IR	IR	IRON PIN - (RE-BAR)
L	L	LIGHT
LP	LP	LOADING PLATFORM
PP	PP	POWER POLE
PL	PL	PROPERTY LINE
RW	RW	RETAINING WALL
RO	RO	RIGHT-OF-WAY
SM	SM	SANITARY SEWER MANHOLE
SP	SP	SANITARY SEWER PIPE
SS	SS	SANITARY SEWER SERVICE
SL	SL	SECTION/TIE LINE
SW	SW	SIDEWALK
SE	SE	SPOT ELEVATION
SC	SC	STABILIZED CONSTRUCTION ENT.
SI	SI	STORM SEWER INLET
SP	SP	STORM SEWER PIPE
ST	ST	STRIP (PAINTED OR STICKY)
TE	TE	TELEPHONE (UNDERGROUND)
TL	TL	TREE LINE CANOPY
TR	TR	TREE/TREE TO BE REMOVED
WM	WM	WATER MAIN BLOWOFF VALVE
WM	WM	WATER MAIN FIRE DEPT. CONN.
WM	WM	WATER MAIN PIPE
WM	WM	WATER MAIN REDUCER
WM	WM	WATER MAIN THRUST BLOCK
WM	WM	WATER METER
WM	WM	WATER METER (IRRIGATION)
WM	WM	WATER VALVE

**ADA NOTES:**

- CONTACT THE CITY OF FARMINGTON AND CITY ENGINEERING CONSULTANT (MWY) AND REQUEST AN INSPECTION PRIOR TO POURING ANY SIDEWALK OR DRIVEWAY IN THE RIGHT-OF-WAY.

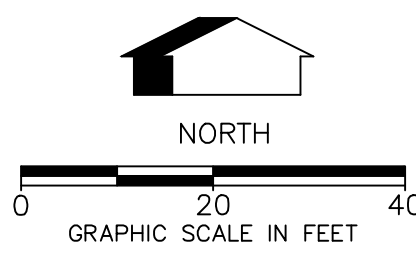
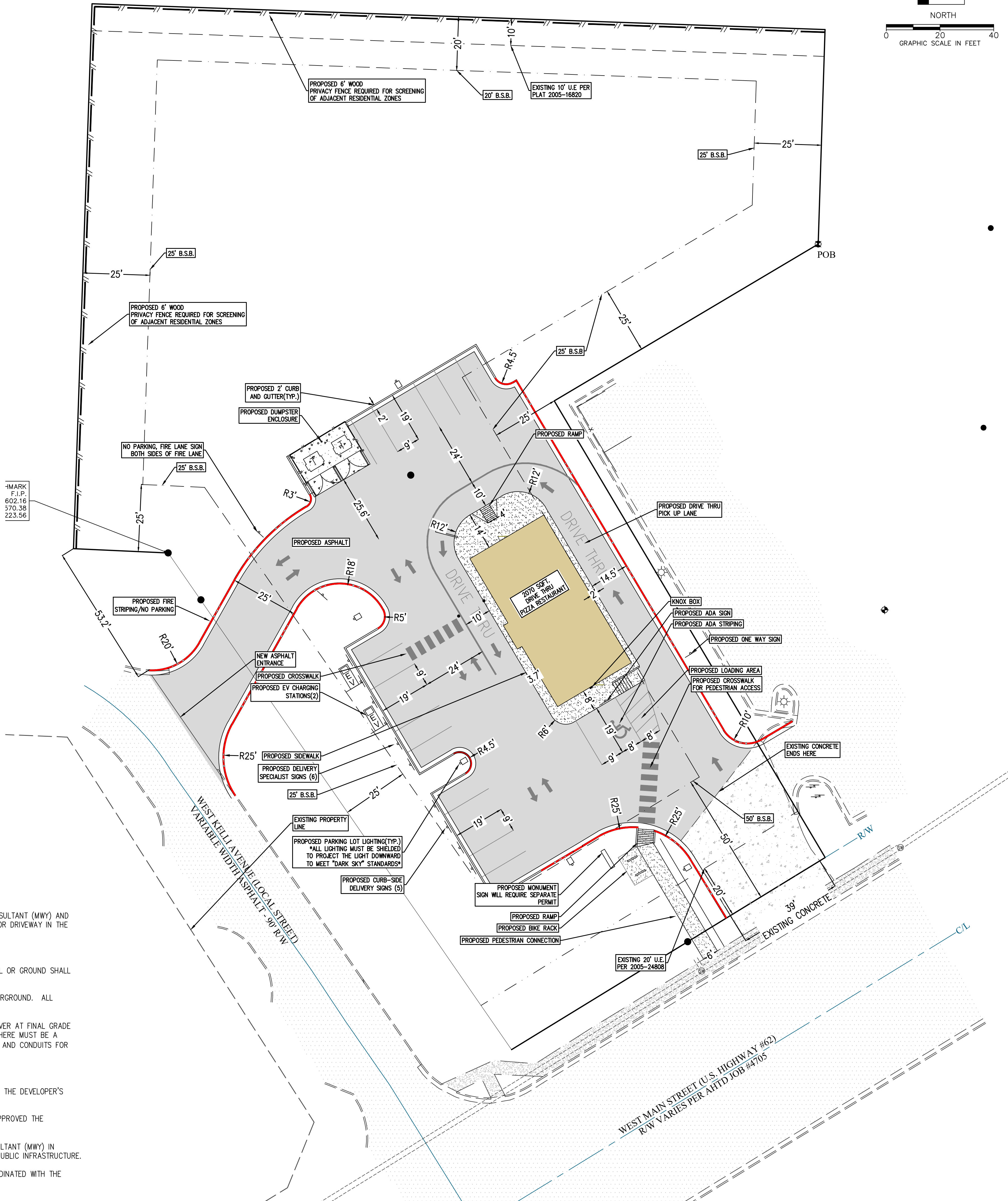
**NOTES:**

- ALL MECHANICAL AND UTILITY EQUIPMENT LOCATED ON THE WALL OR GROUND SHALL BE SCREENED WITH TALL GRASSES OR SHRUBS.
- ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALLED UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.

**UTILITY NOTES:**

- DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
- ALL METER LOCATIONS AND BACKFLOW PREVENTION MUST BE APPROVED THE FAYETTEVILLE WATER DEPARTMENT.
- NOTIFY THE CITY OF FARMINGTON AND CITY ENGINEERING CONSULTANT (MWY) IN ADVANCE OF PERFORMING WORK IN THE RIGHT OF WAY OR PUBLIC INFRASTRUCTURE.
- CONNECTION OF WATER AND SEWER SERVICES SHOULD BE COORDINATED WITH THE FAYETTEVILLE WATER DEPARTMENT.

- ADJACENT PROPERTY OWNERS
- PARCEL# 760-01228-000  
COOK, CALEB, COOK, KIMBERLY  
302 W KELLI AVE  
FARMINGTON, AR 72730-2603  
ZONING: R-1
  - PARCEL# 760-01225-000  
SCALES, ODELL & LEE ESTER  
301 W WILLOW AVE  
FARMINGTON, AR 72730-2609  
ZONING: R-1
  - PARCEL# 760-01645-000  
HITCHINS, KATHY ANN  
PO BOX 1387  
FARMINGTON, AR 72730  
ZONING: R-1
  - PARCEL# 760-01644-000  
MARSHALL, WESLEY E  
293 W WILLOW AVE  
FARMINGTON, AR 72730  
ZONING: R-1
  - PARCEL# 760-01643-000  
BONHAM FAMILY TRUST  
631 MCKNIGHT AVE  
WEST FORK, AR 72774-3212  
ZONING: R-1
  - PARCEL# 760-01642-000  
MMOG LLC  
10 W COLONIAL DR  
ROCKERS, AR 72758  
ZONING: R-1
  - PARCEL# 760-01618-001  
DEESE, RONALD L II & TERESA  
PO BOX 149  
FARMINGTON, AR 72730  
ZONING: C-2
  - PARCEL# 760-01618-003  
CT PM LLC  
140 CARNOUSTIE DR  
PELHAM, AL 35124  
ZONING: C-2
  - PARCEL# 760-01632-000  
CASEY'S MARKETING COMPANY  
PO BOX 54288  
LEXINGTON KY 40555  
ZONING: C-2
  - PARCEL# 760-01626-001  
CASEY'S MARKETING COMPANY  
PO BOX 54288  
LEXINGTON KY 40555  
ZONING: C-2
  - PARCEL# 760-01626-004  
HILLCREST HOLDINGS LLC  
PO BOX 564  
JOHNSON, AR 72741  
ZONING: C-2
  - PARCEL# 760-01619-000  
HENDERSON, JOHN CHARLES  
304 W KELLI AVE  
FARMINGTON AR 72730  
ZONING: C-2



ENGINEER: G. BATES  
 DRAWN BY: B. WATTS  
 02/19/2024  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 9810  
 GEFREY H. BATES  
 CERTIFICATE OF AUTHORITY  
 BATES & ASSOCIATES, INC.  
 #335  
 ARKANSAS ENGINEER  
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REVISIONS	DATE
PRE-SUBMITTAL PLAN PREPARATION	01/23/24
2ND SUBMITTAL	02/13/24

DOMINO'S PIZZA  
 LARGE SCALE DEVELOPMENT  
 SITE AND UTILITY PLAN  
 FARMINGTON, ARKANSAS

**BATES**  
 Engineers - Surveyors  
 7230 S Pleasant Ridge Dr / Fayetteville, AR 72704  
 PH: (479) 442-9350 / batesnwa.com

**ENGINEERING NOTES:**

- The review by the Engineering Division was for general compliance and does not warrant your design and does not relieve the owner from any items discovered during construction or further review, which are deemed necessary to comply with City ordinances and criteria.
- The approval of the Engineering items on the plans for water, sewer, drainage, and grading is not a guarantee of approval of this project by other City divisions.
- The engineer of record shall provide "Full Time" inspection for utilities and "Part Time" inspection for the storm drainage and roadway construction for this project. The engineer of record shall also review and approve material submittals (approved submittals shall be submitted to the City for concurrence before material is ordered) - weekly inspection reports should be submitted to the City of Fayetteville's public works inspector.
- All materials and construction shall comply with the City of Fayetteville's requirements. In the case of conflicts, the City's criteria shall govern.
- The public works inspector shall be notified no less than 48 hours prior to the installation of public utilities, infrastructure, roadway, etc. Testing shall be coordinated with the PWI by the Engineer of Record.
- A copy of the approval letter from ADH shall be presented prior to installation of public utilities.

*Prior to obtaining water service, the following items must be performed or provided to the satisfaction of the Engineering Department.*

- The work shown on the civil site package must be complete and the items on the final punch list completed.
- Vegetation must be established and perimeter controls removed.
- One (1) set of as-built drawings of the complete project (excluding details) as a hard copy and in Tiff or PDF format;
- Public infrastructure and services shall be surveyed after installation in relation to easements, property lines, and rights-of-way.
- Professional surveyor shall provide stamp drawings specifically identifying the limits of as-built survey performed.
- More than 2 ft deviation of design alignment shall require new easement dedication or adjustment of the utility/storm drain.
- Unit price construction costs and a single 2 year maintenance bonds in the amount of 25% of the public improvements have been provided to the city.
- Certification that the, water, and sewer lines, etc., were installed per approved plans and City of Fayetteville requirements.

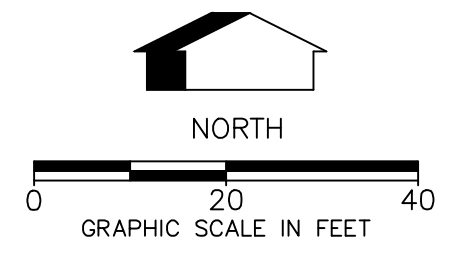
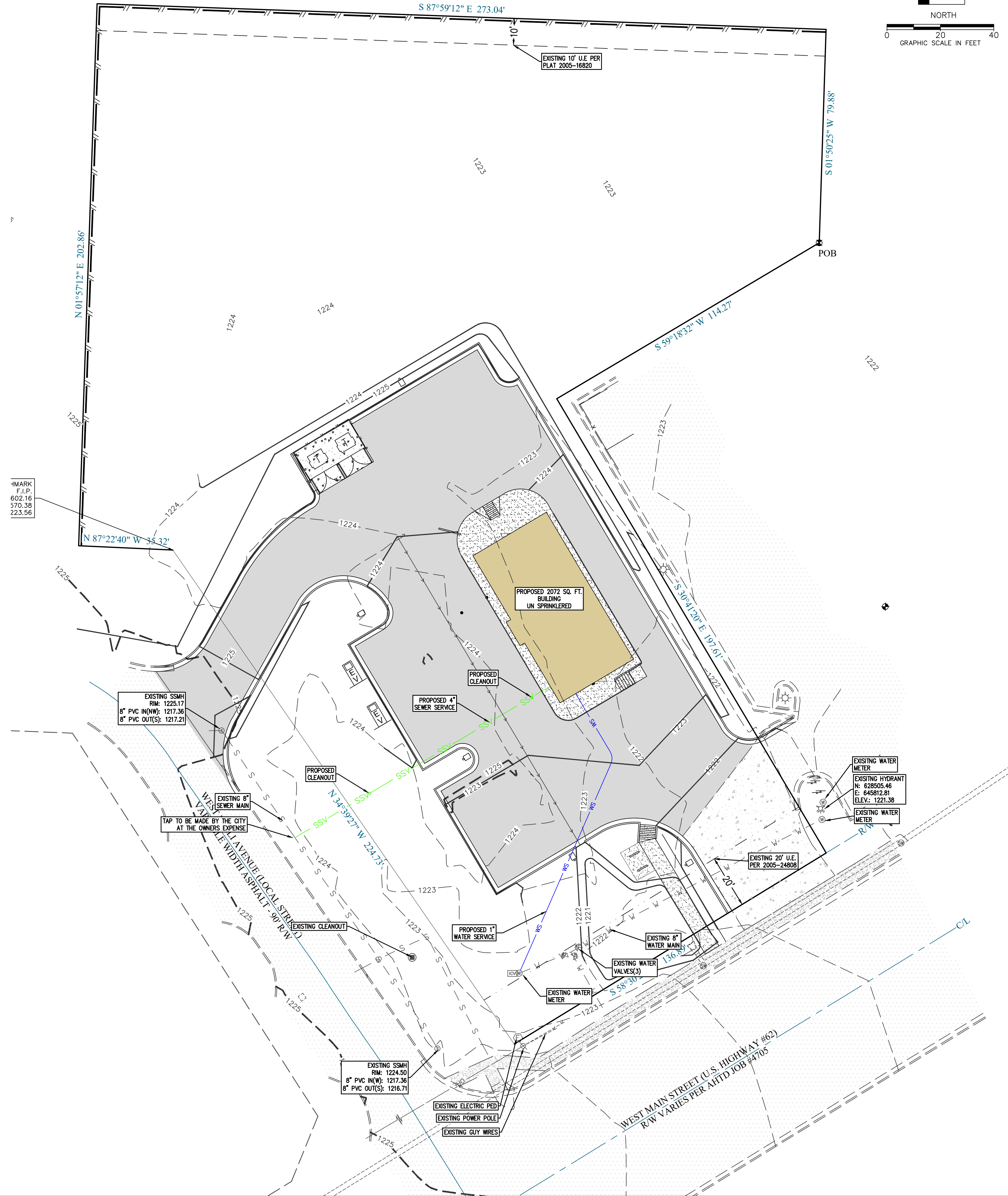
PROPOSED	EXISTING	DESCRIPTION
AE	AE	ACCESS EASEMENT
o	o	ASPHALT (EDGE)
o	o	ASPHALT (SURFACE)
o	o	BOLLARD
o	o	BUILDING
o	o	BUILDING SETBACK LINE
o	o	CABLE TV (UNDERGROUND)
o	o	CENTERLINE
o	o	CONCRETE (EDGE)
o	o	CONCRETE (SURFACE)
o	o	CONDUIT
o	o	CONTOURS
o	o	CURB & GUTTER
o	o	DRAINAGE FLOW
o	o	DUMPSTER
o	o	UTILITY EASEMENT
o	o	ELECTRICAL (UNDERGROUND)
o	o	ELECTRICAL (OVERHEAD)
o	o	ELECT. TRANSFORMER
o	o	EROSION CONTROL FENCE
o	o	EROSION CONTROL RIP-RAP
o	o	FENCE (EX. WIRE/FIB. SCREENING)
o	o	FIBER OPTIC CABLE
o	o	FIRE HYDRANT ASSEMBLY
o	o	FLOWLINE
o	o	FORCE MAIN
o	o	GAS MAIN
o	o	GAS METER VALVE
o	o	GRAVEL (EDGE)
o	o	GRAVEL (SURFACE)
o	o	IRON PIN - (HE-BAR)
o	o	LIGHT
o	o	POND
o	o	POWER POLE
o	o	UTILITY EASEMENT
o	o	RETAINING WALL
o	o	RIGHT-OF-WAY
o	o	SANITARY SEWER MANHOLE
o	o	SANITARY SEWER PIPE
o	o	SANITARY SEWER SERVICE
o	o	SECTION/DE LINE
o	o	SIDEWALK
o	o	SION
o	o	SPOT ELEVATION
o	o	STABILIZED CONSTRUCTION ENT.
o	o	STORM SEWER INLET
o	o	STORM SEWER PIPE
o	o	STRIPES (PAINTED OR STICKY)
o	o	TELEPHONE PED/MANHOLE
o	o	TELEPHONE (UNDERGROUND)
o	o	TREE LINE CANOPY
o	o	TREE/TREE TO BE REMOVED
o	o	WATER MAIN BLOWOFF VALVE
o	o	WATER MAIN FIRE DOTT. CONN.
o	o	WATER MAIN PIPE
o	o	WATER MAIN RESERVOIR
o	o	WATER MAIN THROST BLOCK
o	o	WATER METER
o	o	WATER METER (IRRIGATION)
o	o	WATER VALVE

**NOTES:**

- ALL MECHANICAL AND UTILITY EQUIPMENT LOCATED ON THE WALL OR GROUND SHALL BE SCREENED WITH TALL GRASSES OR SHRUBS.
- ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALLED UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.

**UTILITY NOTES:**

- DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
- ALL METER LOCATIONS AND BACKFLOW PREVENTION MUST BE APPROVED BY THE FAYETTEVILLE WATER DEPARTMENT.
- NOTIFY THE CITY OF FARMINGTON AND CITY ENGINEERING CONSULTANT (MW) IN ADVANCE OF PERFORMING WORK IN THE RIGHT OF WAY OR PUBLIC INFRASTRUCTURE.
- CONNECTION OF WATER AND SEWER SERVICES SHOULD BE COORDINATED WITH THE FAYETTEVILLE WATER DEPARTMENT.



ENGINEER: G. BATES

DRAWN BY: B. WATTS

02/13/2024

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#335  
REGISTERED PROFESSIONAL ENGINEER  
No. 9810  
JEFFREY H. BATES

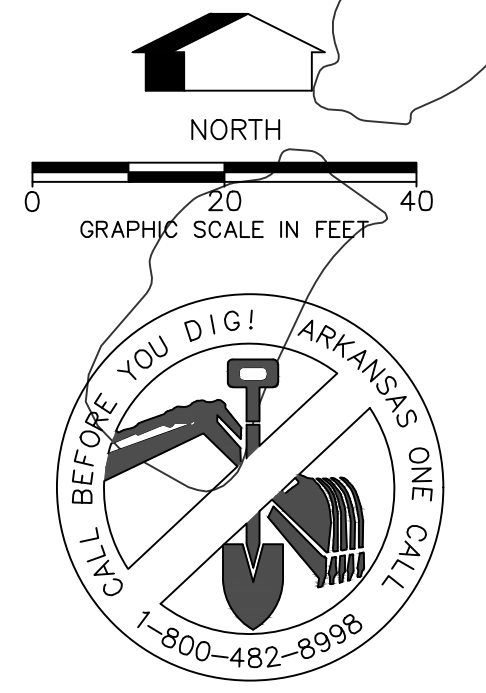
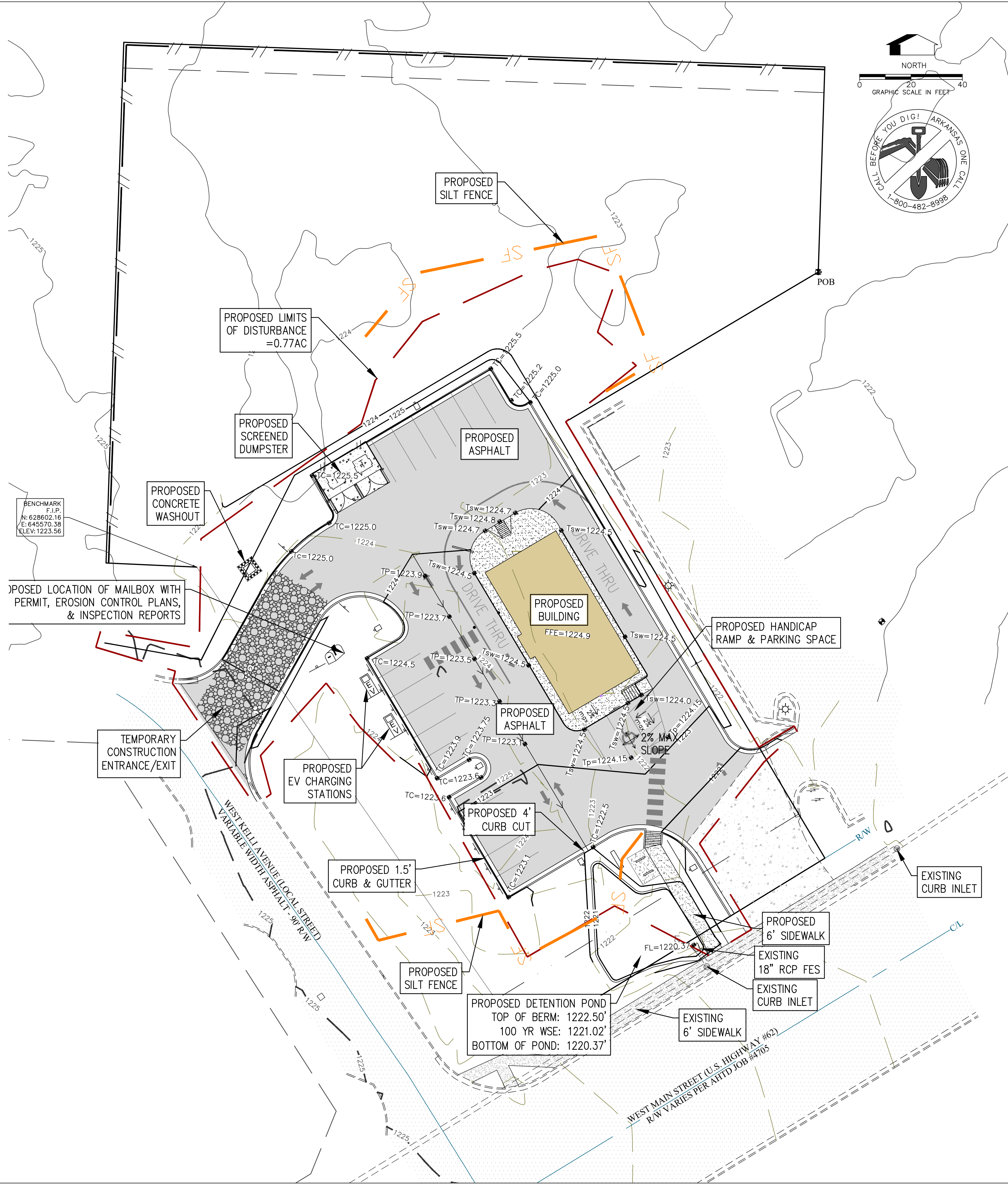
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REVISIONS	DATE
PRE-SUBMITTAL PLAN PREPARATION	01/23/24
2ND SUBMITTAL	02/13/24

DOMINO'S PIZZA  
LARGE SCALE DEVELOPMENT  
UTILITY PLAN  
FARMINGTON, ARKANSAS

**BATES**  
Engineers - Surveyors  
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704  
PH: (479) 442-9350 / batesnwa.com

- REVEGETATION NOTES:**  
REVEGETATION OF DISTURBED AREAS SHALL BE IN ACCORDANCE THE FOLLOWING:
- PERMANENT IMPROVEMENTS. PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED COINCIDENTAL TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
  - TOP SOIL. TOP SOIL SHALL BE STOCKPILED AND PROTECTED FOR LATER USE ON AREAS REQUIRING LANDSCAPING. IF TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
  - EXISTING VEGETATION. EVERY MEANS SHALL BE TAKEN TO CONSERVE AND PROTECT EXISTING VEGETATION.
  - SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED UNLESS OTHERWISE ALLOWED BY THE CITY.
  - 4:1 TO 3:1 GRADE. THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDED WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE IN NO MORE THAN TWO GROWING SEASONS.
- CONSTRUCTION NOTES:**
1. ALL AREAS UNDER BUILDINGS AND PAVED AREAS SHALL BE STRIPPED OF TOPSOIL. THE RESULTING SUB GRADE SHALL BE THOROUGHLY COMPACTED. ANY SOFT OR YIELDING AREAS SHALL BE STABILIZED OR REMOVED AND REPLACED WITH SUITABLE MATERIAL.
  2. FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER. ALL FILL SHALL BE MADE IN LIFTS NOT EXCEEDING 8" THICKNESS WITH EACH LIFT COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 SLOPE.
  3. ALL GRADED AREAS SHALL HAVE 4" OF TOPSOIL, SOD, EROSION FABRIC, HERBACEOUS GROUND COVER, AND/OR HYDROSEEDING WITH A WARM SEASON GRASS. REVEGETATION SHALL BE IMMEDIATELY AFTER THE PHYSICAL ALTERATION OF THE LAND IS COMPLETE (MAXIMUM OF 15 DAYS).
  4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY GRADING REGULATIONS. SILT FENCES, BERMS, DETENTION PONDS, OR OTHER MEANS NEEDED TO MEET THE CITY GRADING REQUIREMENTS SHALL BE PROVIDED AS REQUIRED TO MEET THESE REGULATIONS.
  5. ALL HEAVILY TRAVELED DIRT AREAS SHALL BE WETTED TO PREVENT EXCESSIVE DUST, DURING CONSTRUCTION.
  6. ALL MUD/DIRT LEFT ON PUBLIC STREETS OR ADJACENT PROPERTIES AS A RESULT OF THIS CONSTRUCTION SHALL BE IMMEDIATELY SHOVELLED OR SWEEPED AWAY UNTIL IT IS COMPLETELY REMOVED BY THE CONTRACTOR AND PLACED BACK ON THE SITE.
  7. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY OF FARMINGTON OR THEIR REPRESENTATIVE. 48 HOUR NOTICE IS REQUIRED FOR ALL INSPECTIONS.
- SEDIMENT & EROSION CONTROL NOTES:**
1. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FROM A.D.E.Q. AND CITY REGARDING RUNOFF, EROSION CONTROL, AND GRADING BEFORE BEGINNING CONSTRUCTION.
  2. CONTRACTOR SHALL POST STORM WATER POLLUTION PREVENTION PLAN.
  3. ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AND OCCASIONALLY REPLACED THROUGHOUT THE CONSTRUCTION PROCESS.
  4. ALL EROSION & SEDIMENT CONTROL DEVICES SHOWN SHALL BE INSTALLED BEFORE CONSTRUCTION BEGINS. THOSE ITEMS SHALL REMAIN IN PLACE UNTIL ALL EXCAVATION IS COMPLETE.
  5. THE PROPERTY OWNER OR MAIN CONTRACTOR ONSITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGE OR DISTURBED BY UNDERGROUND PRIVATE FRANCHISED UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION.



ENGINEER: G. BATES  
DRAWN BY: B. WATTS

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 9810  
JEFFREY H. BATES

02/13/2024

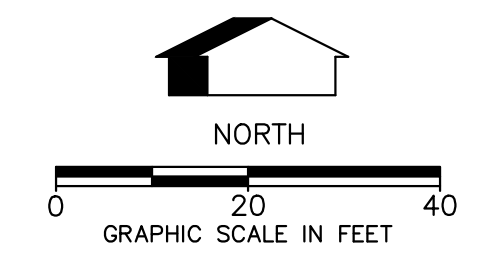
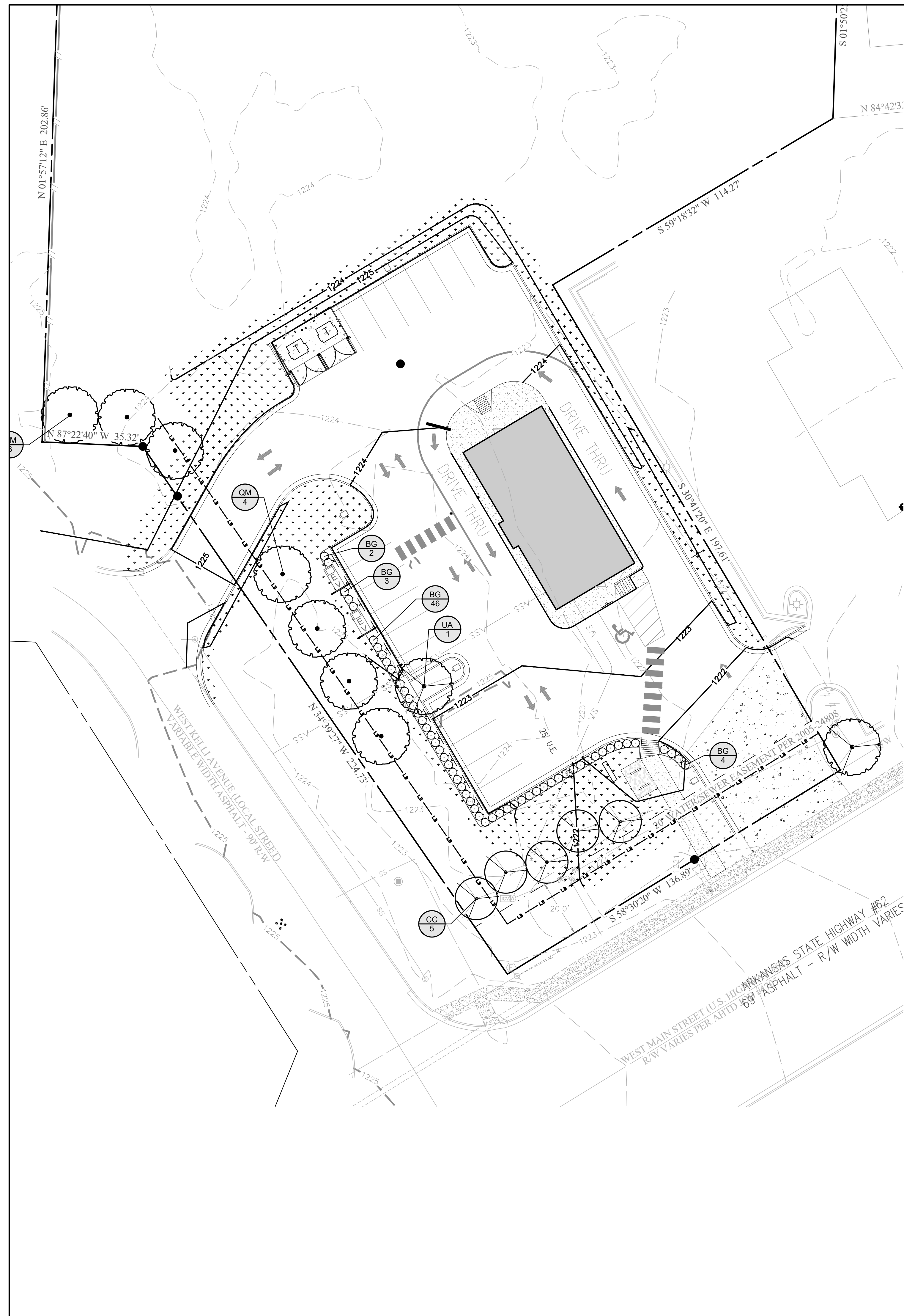
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#335  
ARKANSAS ENGINEER

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REVISIONS	DATE
PRE-SUBMITTAL PLAN PREPARATION	01/23/24
2ND SUBMITTAL	02/13/24

DOMINO'S PIZZA  
LARGE SCALE DEVELOPMENT  
GRADING & DRAINAGE PLAN  
FARMINGTON, ARKANSAS

**BATES**  
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PH: (479) 442-9350 / batesnwa.com



**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	CALIPER	ROOT	HEIGHT	QTY
<b>TREES</b>						
	CC	Carpinus betulus 'Columnaris' / Dwarf Columnar European Hornbeam	2.5" Cal.	B&B or Cont.	8' min.	5
	UA	Ulmus americana / American Elm	2.5" Cal.	B&B or Cont.	8' min.	2
<b>SHADE TREES</b>						
	QM	Quercus muehlenbergii / Chinkapin Oak	2.5" Cal.	B&B	10' min.	7
<b>SHRUBS</b>						
	BG	Buxus x 'Green Mound' / Green Mound Boxwood	2 gal.		36" o.c.	55
<b>SOD/SEED</b>						
	CT	Cynodon dactylon 'Tif 419' / Bermuda Grass				7,740 sf

**CITY LANDSCAPE REQUIREMENTS**

TOTAL SITE AREA:	85,813 SF
<b>STREET BUFFER</b>	
W. KELLI AVE.	
FRONTAGE LENGTH:	136 LF
STREET TREES REQUIRED:	6 TREES (1 PER 30 LF OF FRONTAGE)
STREET TREES PROVIDED:	6 TREES
SHRUBS REQUIRED:	23 SHRUBS (5 PER 30 LF OF FRONTAGE)
SHRUBS PROVIDED:	23 SHRUBS PROVIDED
<b>W. KELLI AVE.</b>	
FRONTAGE LENGTH:	224 LF
STREET TREES REQUIRED:	7 TREES (1 PER 35 LF OF FRONTAGE)
STREET TREES PROVIDED:	7 TREES
SHRUBS REQUIRED:	32 SHRUBS (5 PER 35 LF OF FRONTAGE)
SHRUBS PROVIDED:	32 SHRUBS PROVIDED
<b>SIDE PERIMETER BUFFER</b>	
PERIMETER LENGTH:	N/A (WAIVER FILED)
<b>FOUNDATION PLANTINGS</b>	
N/A (WAIVER FILED)	
<b>PARKING LOT LANDSCAPING</b>	
1 TREE PER LANDSCAPED ISLAND	1 TREE PROVIDED

**LANDSCAPE GENRAL NOTES**

- CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ARKANSAS ONE-CALL TO CONFIRM ALL UTILITIES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED ON THE PLANT LIST.
- ALL REQUIRED TREES SHALL BE 2" MINIMUM CALIPER, WITH A SINGLE DOMINATE CENTRAL LEADER. MULTI LEADERED TREES WILL NOT BE ACCEPTABLE WITHOUT PRIOR APPROVAL FROM URBAN FORESTRY.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED, UNLESS SPECIFIED OTHERWISE, AND MUST MEET ALL REQUIREMENTS SPECIFIED ON PLANS.
- ALL TREES AND SHRUBS SHALL BE INSTALLED PER STANDARD CITY OF FAYETTEVILLE PLANTING DETAILS.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER CONSTRUCTION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED WITH A 4" LAYER OF ORGANIC HARDWOOD MULCH. MULCH SHALL BE NOT BE PLACED IMMEDIATELY ADJACENT TO TREE TRUNKS, BUT SHALL BE KEPT AT LEAST 3" FROM ROOT COLLAR AT THE SOIL LINE.
- ALL PROPOSED PLANTING AREAS COVERED BY GRASS SHALL HAVE THE SOD COMPLETELY REMOVED BEFORE PLANTING BEGINS.
- ALL PLANTING BEDS SHALL BE CONTAINED BY EDGING MATERIAL OTHER THAN VEGETATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION AT NO COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE CONSTRUCTION BEGINS.
- ALL DISTURBED SHALL BE SODED WITH 100% BERMUUDA GRASS SOD
- IRRIGATION SHALL BE EITHER AN UNDERGROUND AUTOMATIC SYSTEM OR SHALL UTILIZE HOSE BIBS EVERY 100'.
- MAINTENANCE: THE CURRENT OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR THE ONGOING MAINTENANCE OF REQUIRED LANDSCAPING.
- REPLACEMENT LANDSCAPING: REQUIRED LANDSCAPING THAT DIES OR IS DAMAGED SHALL BE REMOVED AND REPLACED BY THE CURRENT OWNER OF THE PROPERTY. THE OWNER SHALL HAVE 60 DAYS FROM THE RECEIPT OF WRITTEN NOTICE ISSUED BY THE CITY TO REMOVE AND REPLACE ANY REQUIRED LANDSCAPING THAT DIES OR IS DAMAGED.

ENGINEER: G. BATES

2/12/2024  
**LANDTEK STUDIOS**  
 2903 SWEETBRIAR DR.  
 FAYETTEVILLE, AR 72703  
 PH# 479.293.9721

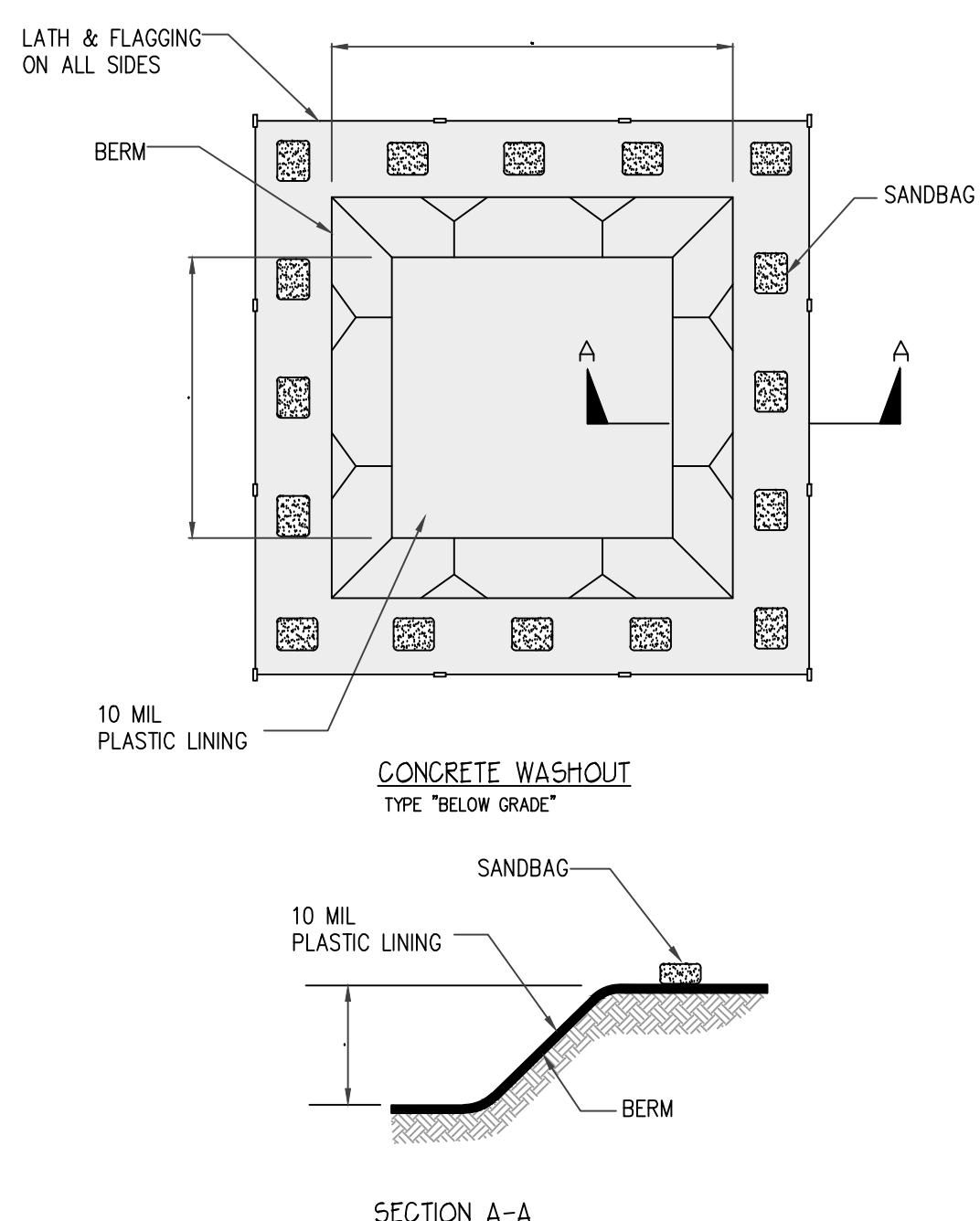
REVISIONS

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02/13/24	2ND SUBMITTAL

**DOMINO'S PIZZA**  
 LARGE SCALE DEVELOPMENT  
 LANDSCAPE PLAN  
 FARMINGTON, ARKANSAS

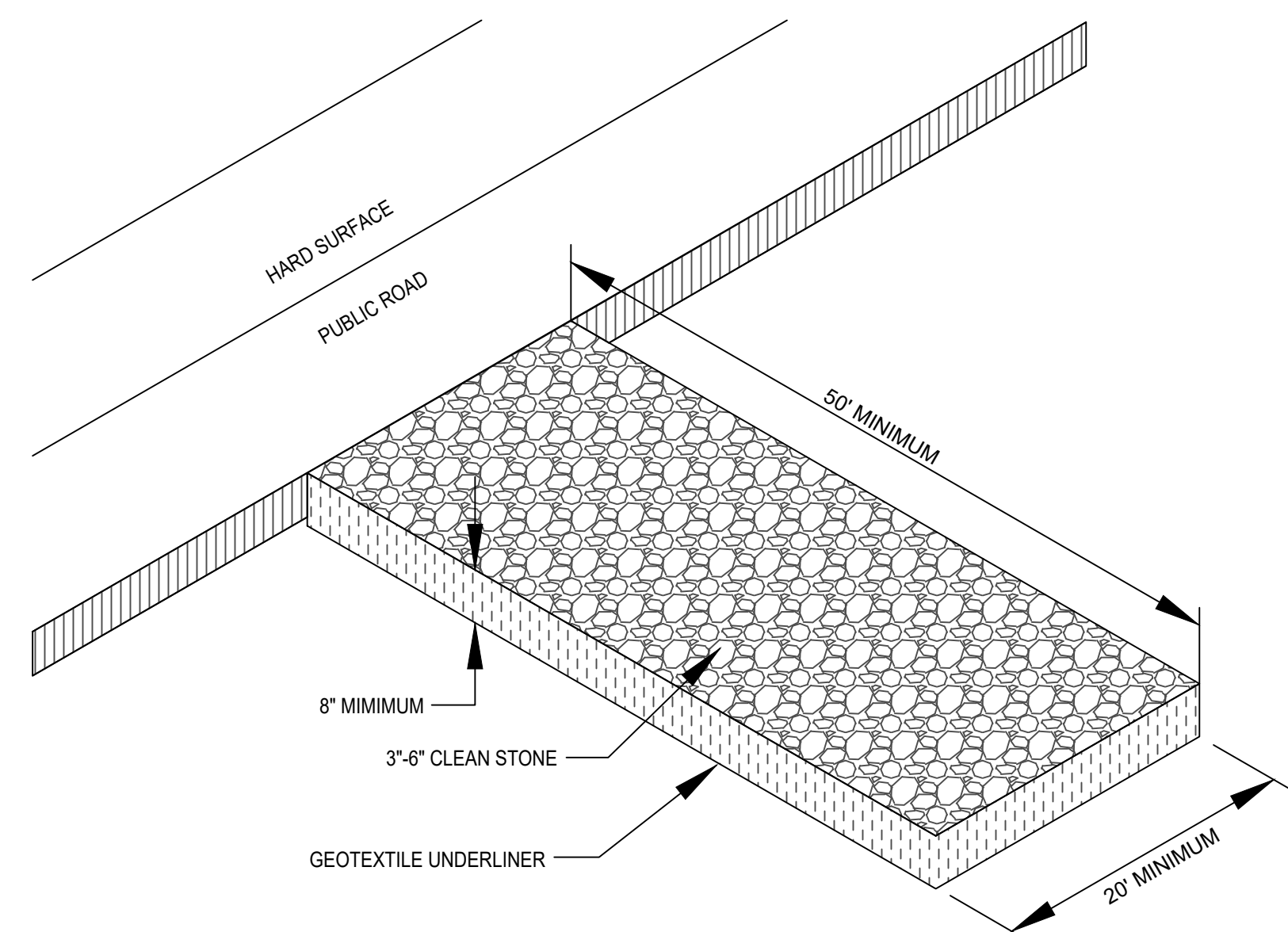
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- NOTES**
1. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS IS ALLOWED.
  2. EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT PIT AREAS.
  3. ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES AS DETERMINED IN THE FIELD.
  4. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  5. TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
  6. WASHOUT FACILITIES WILL BE CLEANED OUT ONCE THE WASHOUT IS 75% FULL.
  7. PLASTIC LINING MATERIAL WILL BE MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
  8. WHEN WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.

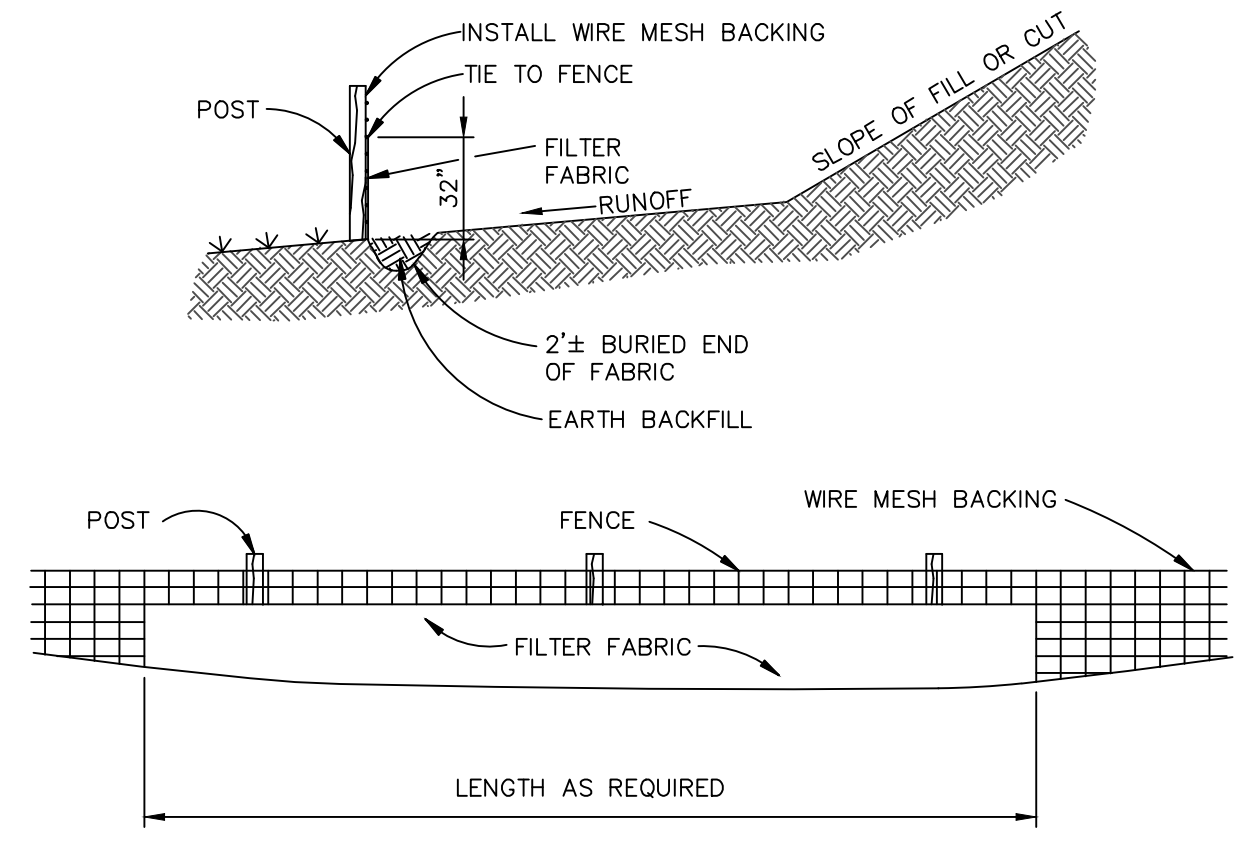
**CONCRETE WASTE MANAGEMENT DETAIL**  
N.T.S.



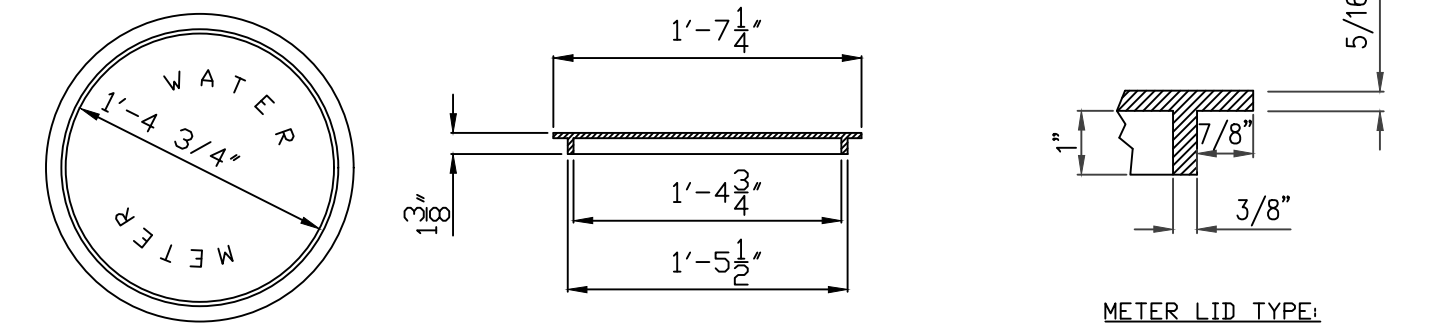
**CONSTRUCTION EXIT NOTES**

1. REPLACE CONTAMINATED STONE AS REQUIRED TO PREVENT TRACKING OF SEDIMENT OR MUD ON PUBLIC STREETS.
2. CLEAN STREETS DAILY WITH BROOM AND SHOVEL. THE USE OF WATER IS PROHIBITED.
3. ALL VEHICLES MUST USE CONSTRUCTION EXIT.

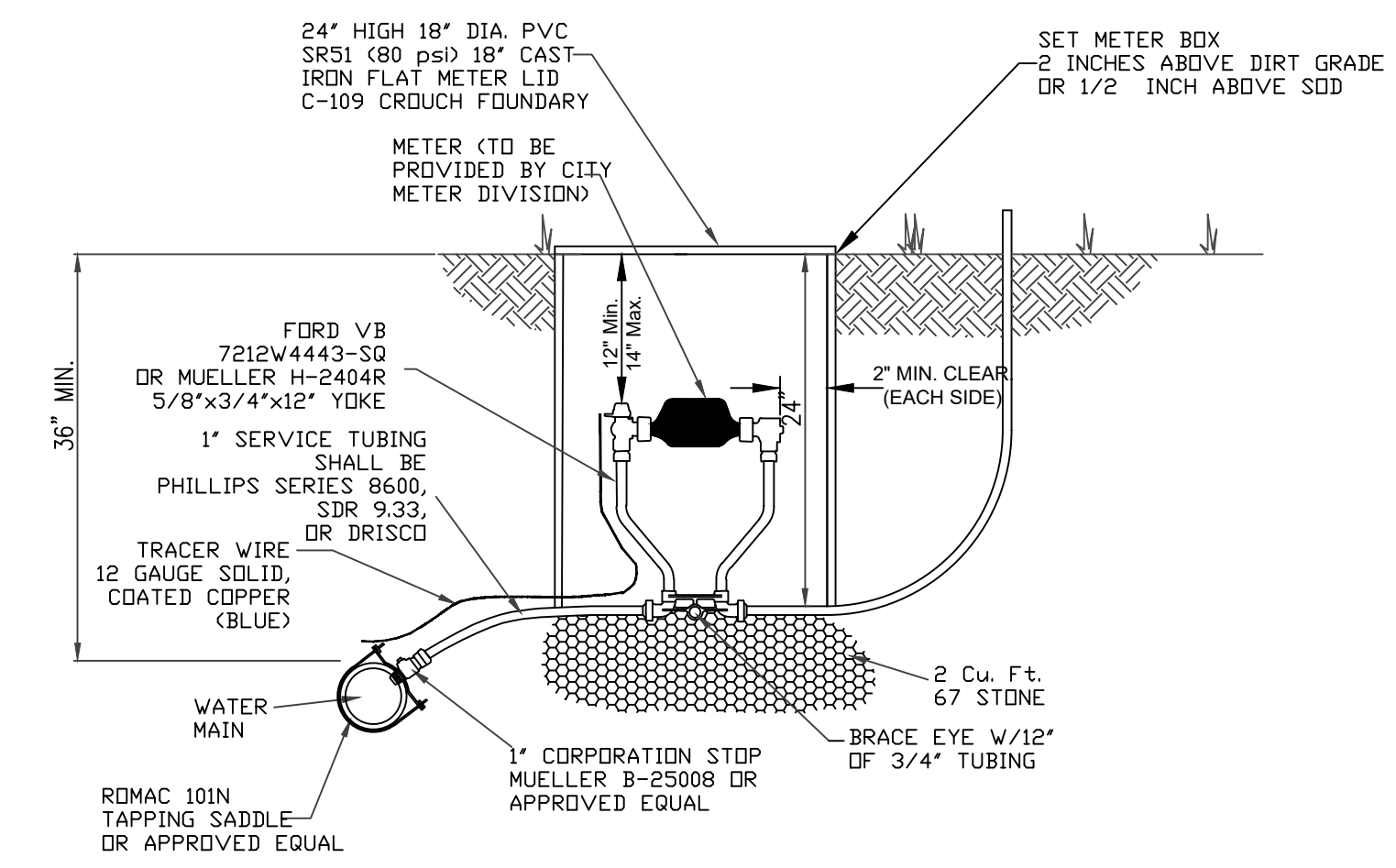
**CONSTRUCTION EXIT**  
N.T.S.



**FILTER FABRIC BARRIER (SILT FENCE)**  
N.T.S.



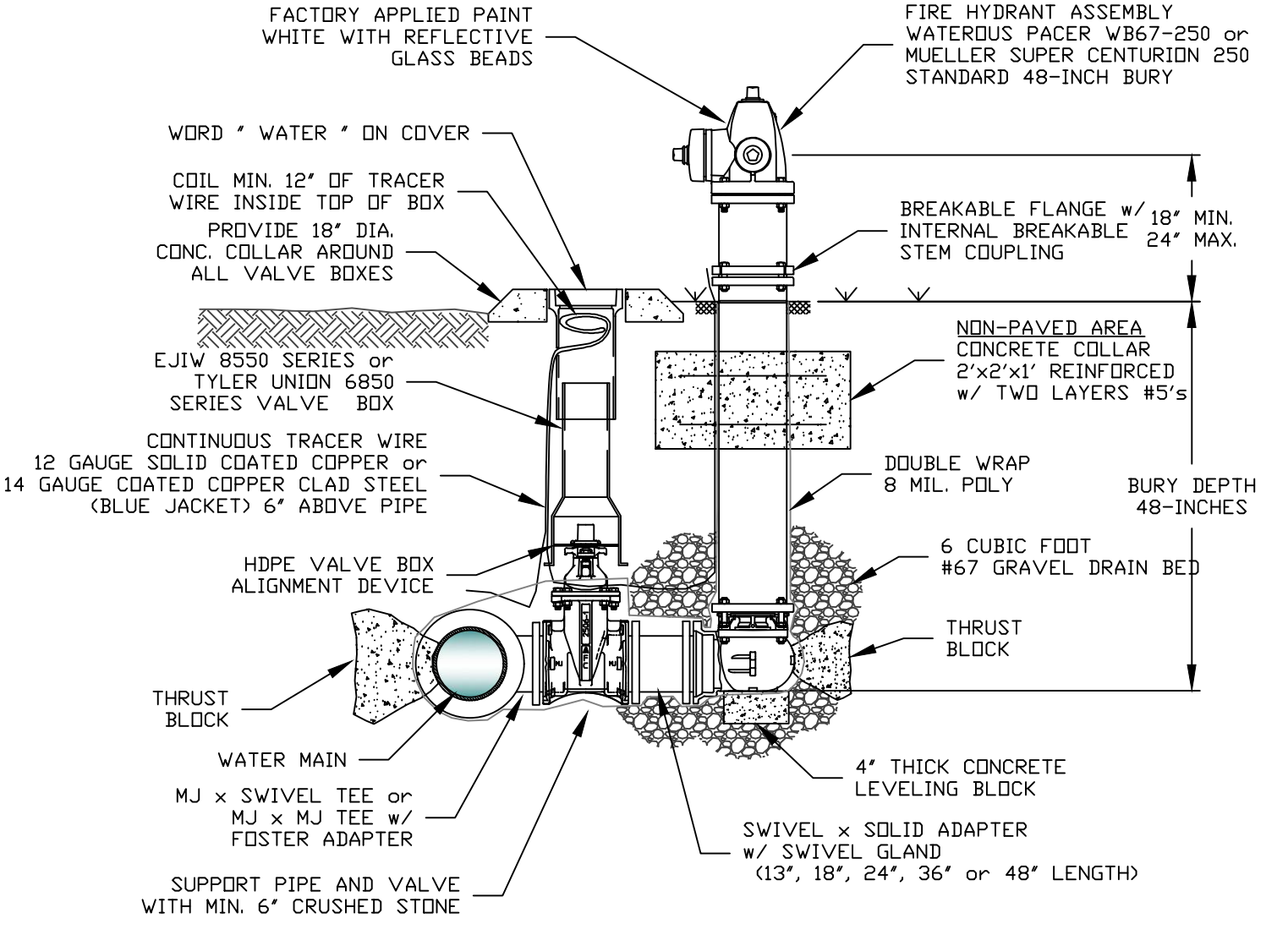
**WATER METER LID**



**SINGLE METER SETTING**

**NOTES:**

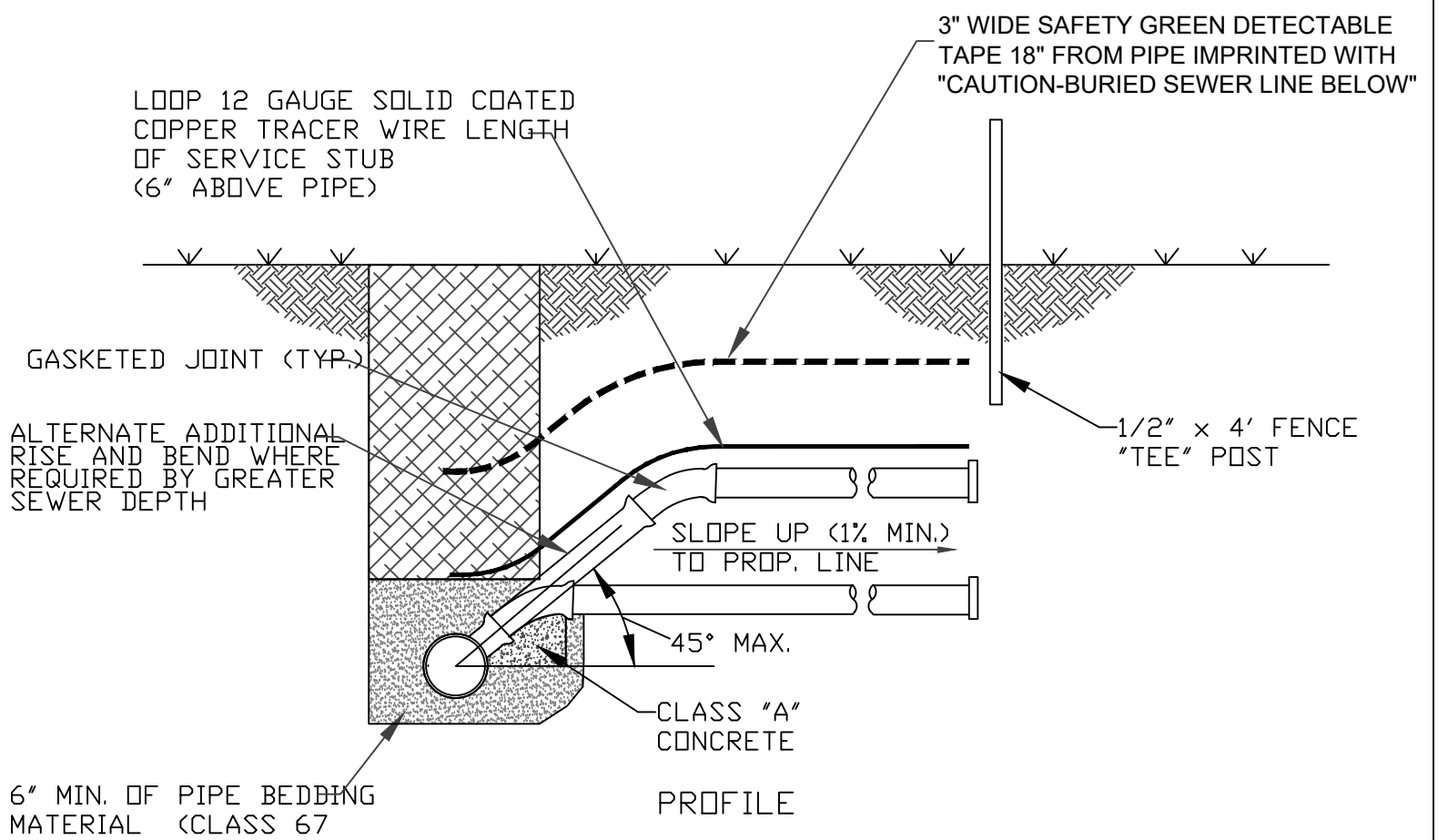
1. THE 6" GATE VALVE SHALL BE POSITIVELY RESTRAINED TO THE MAIN BY THE USE OF EITHER A SWIVEL TEE OR FOSTER ADAPTER.
2. FIRE HYDRANTS SHALL BE DESIGNED FOR A MINIMUM 48" BURY.
3. BURY LINE OF HYDRANT SHALL BE NO LESS THAN THE PROPOSED FINISHED ELEVATION OF BACK OF CURB, OR SIDEWALK, WHICHEVER IS GREATER.
4. EXTENSIONS SHALL BE WATEROUS K562 OR MUELLER A-320 WITH NO MORE THAN ONE EXTENSION PER HYDRANT.
5. IF SIDEWALK IS PRESENT, HYDRANT SHALL BE INSTALLED 2' MINIMUM BEHIND THE BACK OF THE SIDEWALK OR CURB. VALVES SHALL BE INSTALLED 1' MINIMUM BEHIND THE BACK OF THE SIDEWALK OR CURB.
6. DO NOT COVER UP WEEP HOLE WITH CONCRETE.
7. MJ RETAINER GLANDS ARE REQUIRED FOR ALL FITTINGS.
7. 6" DUCTILE IRON PIPE IS REQUIRED FOR ALL FIRE HYDRANT LEADS GREATER THAN 48-INCHES FROM THE MAIN VALVE.
8. AN ADDITIONAL GUARDIAN VALVE IS REQUIRED FOR ALL FIRE HYDRANT LEADS GREATER THAN 30 FEET IN LENGTH.



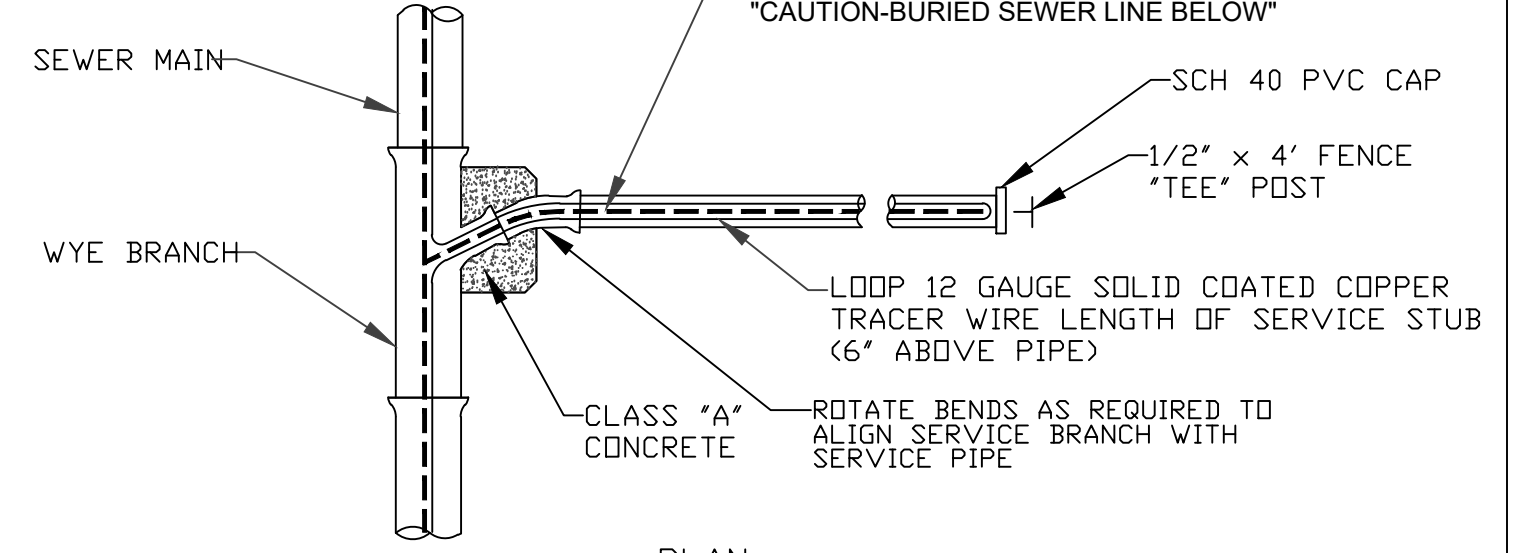
**FIRE HYDRANT & VALVE CONNECTION**

**NOTES:**

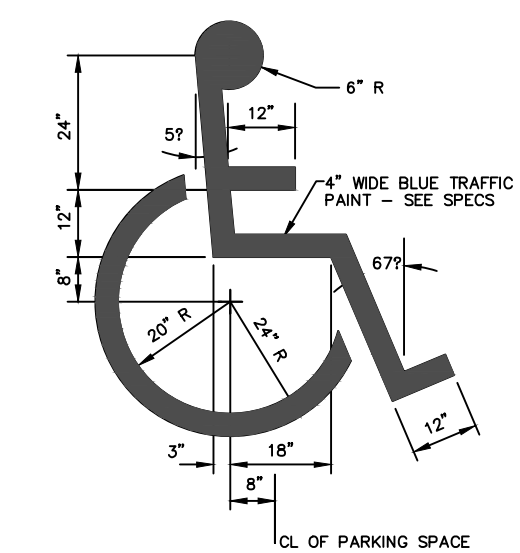
1. MODIFIED RISER LATERAL SHALL BE USED WHEN DEPTH OF COVER EXCEEDS 7'-0"
2. PLACE CLASS "A" CONCRETE UNDER EACH WYE BRANCH TO PREVENT CRACKING OR TWISTING UNDER EARTH LOADS.
3. SERVICE LATERAL STUBS SHALL TERMINATE AT LEAST 2 FEET INSIDE THE PROPERTY LINE BUT IN NO CASE SHALL THE SERVICE LATERAL STUB TERMINATE AT A DISTANCE LESS THAN 8 FEET FROM THE SANITARY SEWER MAIN.
4. BURY A 1/2" x 4" STEEL TEE FENCE POST AT END OF SERVICE LATERAL STUB AND BACKFILL TO FINISHED GRADE OF PROPERTY.
5. CLASS 51, 4" DUCTILE IRON PIPE, LINED FOR SANITARY SEWER AND 4" DUCTILE IRON FITTING, M.J., LINED FOR SANITARY SEWER, SHALL BE INSTALLED FOR SERVICES BURIED AT DEPTHS OF 14 FEET AND GREATER.



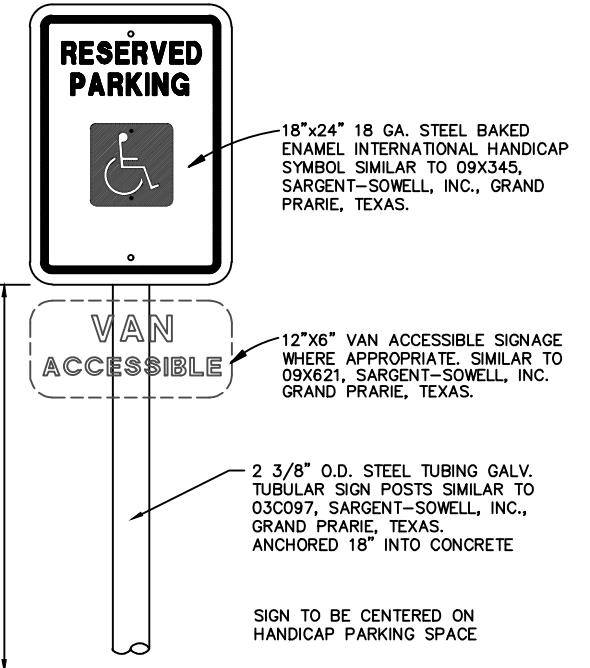
**PROFILE**



**PLAN**  
**SEWER SERVICE LATERAL**



**HANDICAP PAVEMENT SYMBOL**  
N.T.S.



**HANDICAP SIGN**  
N.T.S.

ENGINEER: G. BATES  
DRAWN BY: B. WATTS  
02/13/2024  
STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 9810  
GEOFFREY H. BATES  
BATES & ASSOCIATES, INC.  
#335  
CERTIFICATE OF AUTHORITY  
ARKANSAS ENGINEER

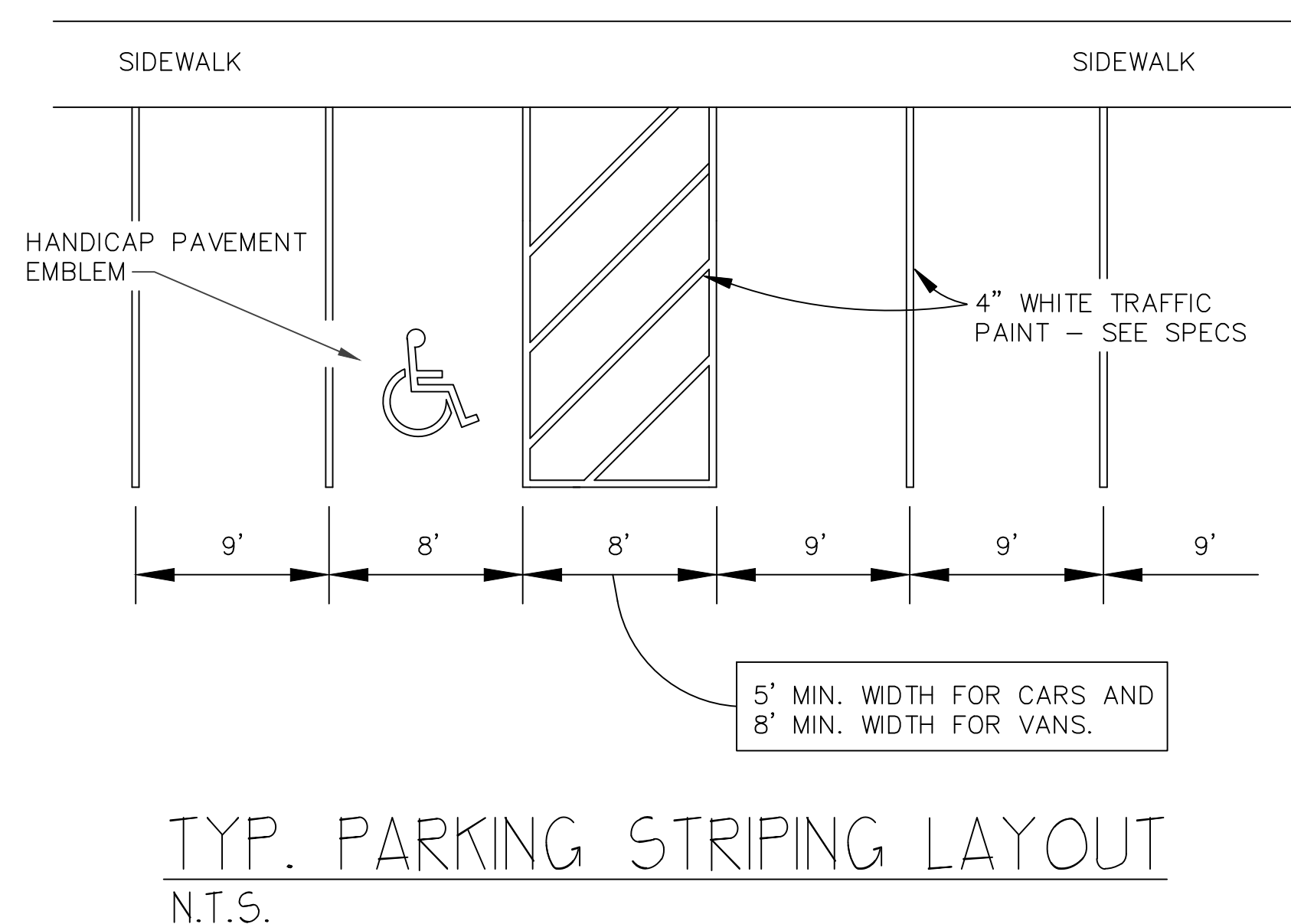
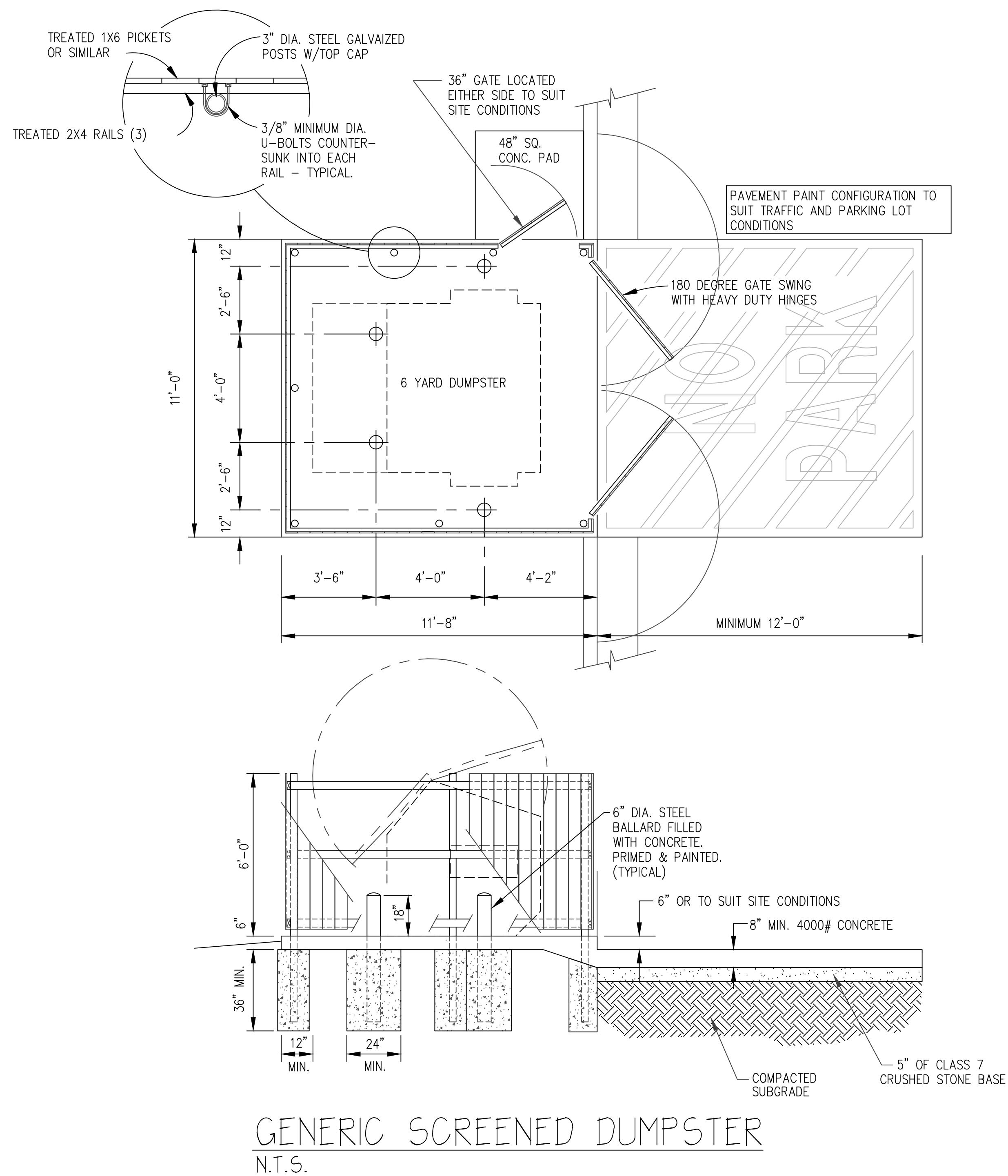
DATE	REVISIONS
01/23/24	
02/13/24	

PRE-SUBMITTAL PLAN PREPARATION  
2ND SUBMITTAL

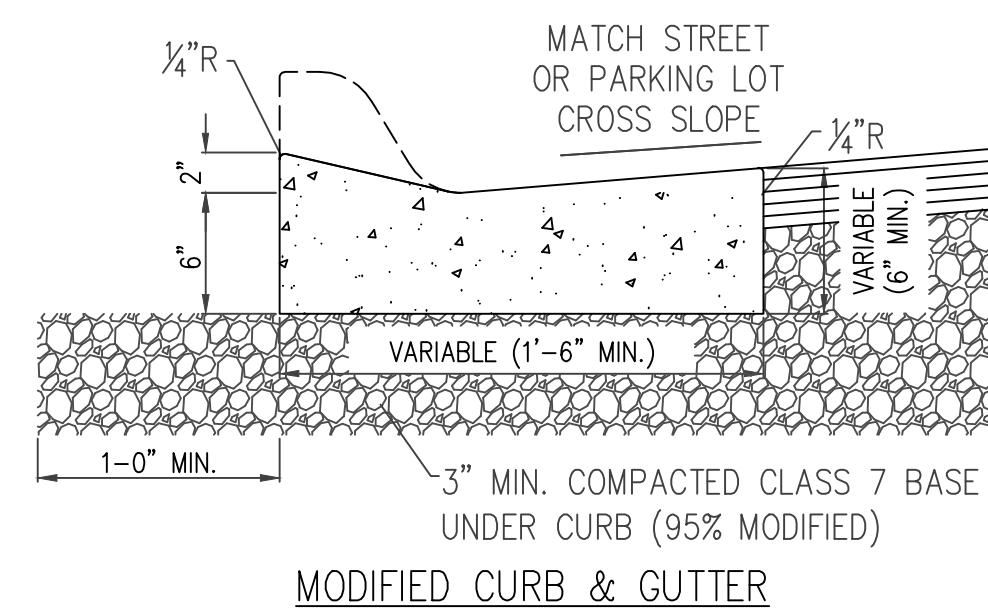
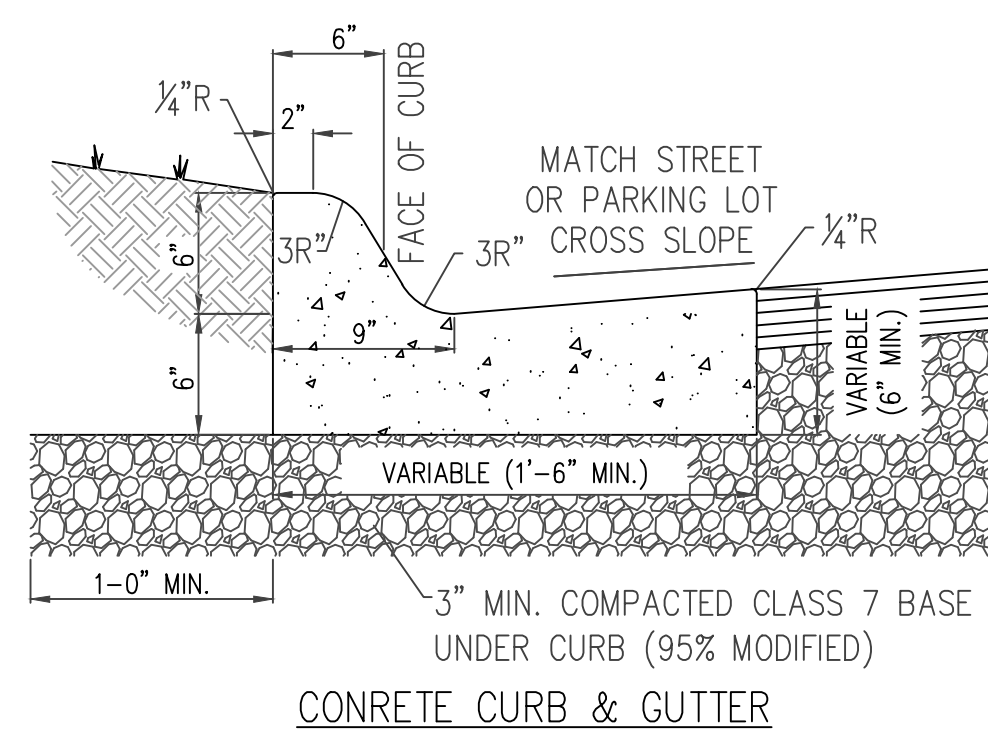
DOMINO'S PIZZA  
LARGE SCALE DEVELOPMENT  
DETAILS  
FARMINGTON, ARKANSAS

**BATES**  
Engineers - Surveyors  
7230 S Pleasant Ridge Dr / Fayetteville, AR 72704  
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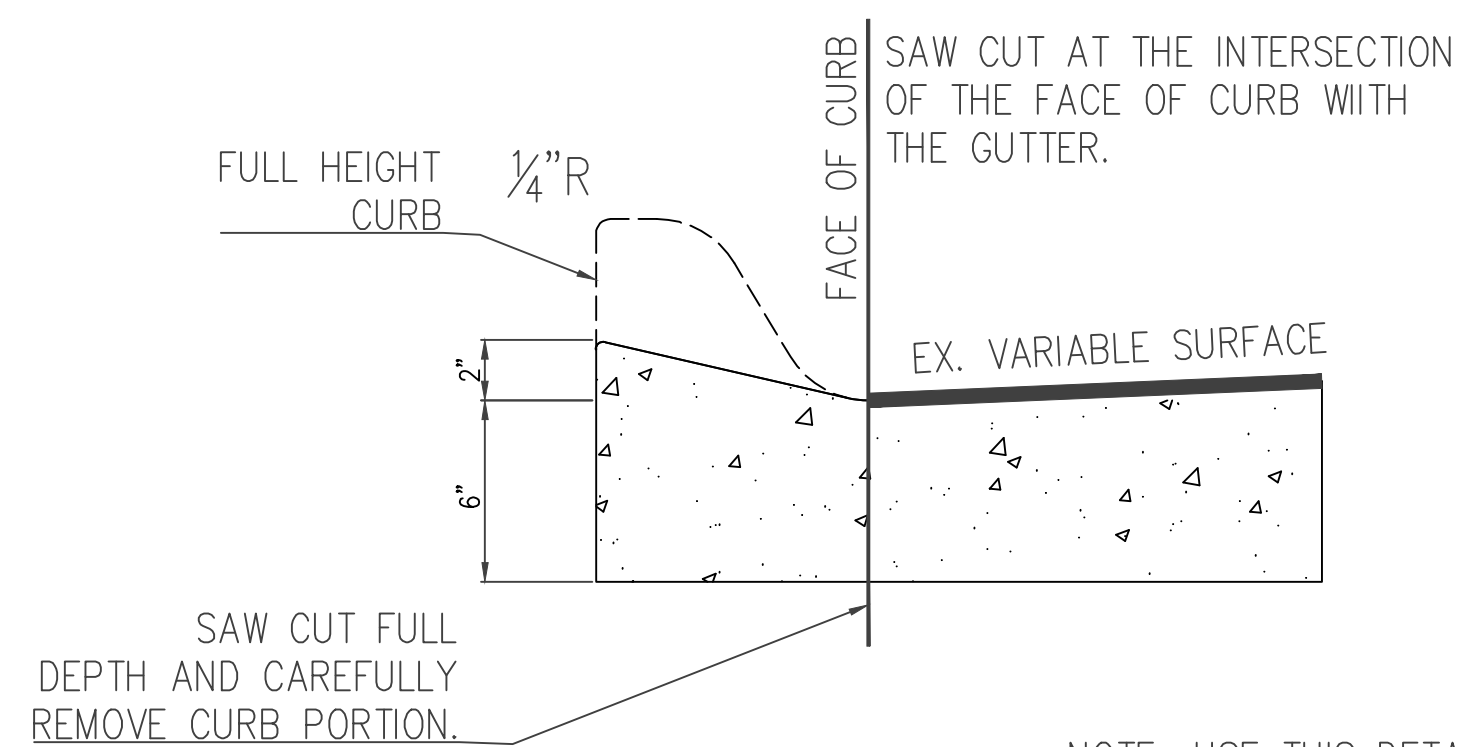




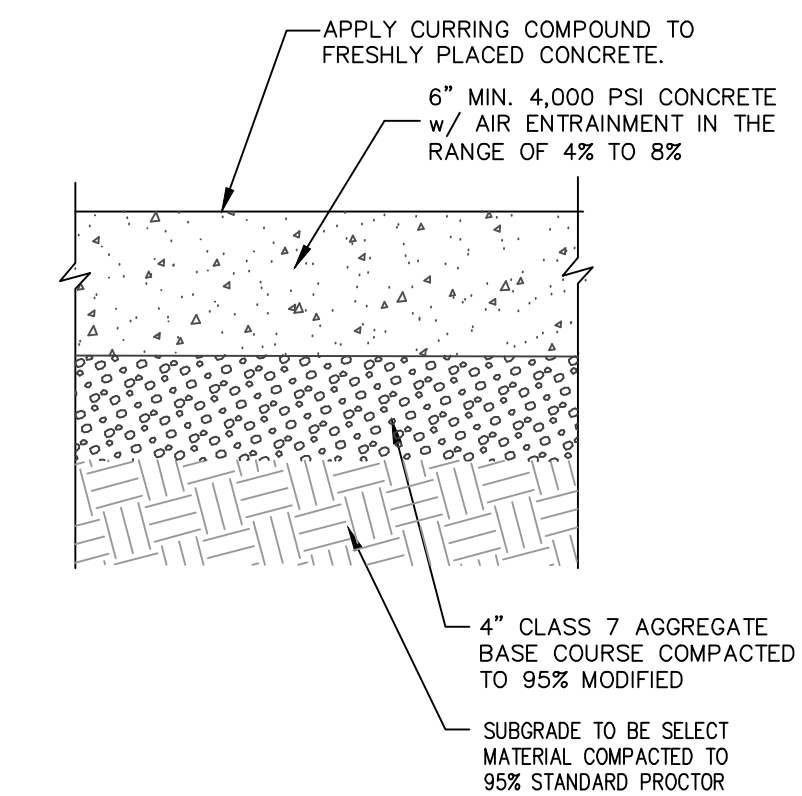
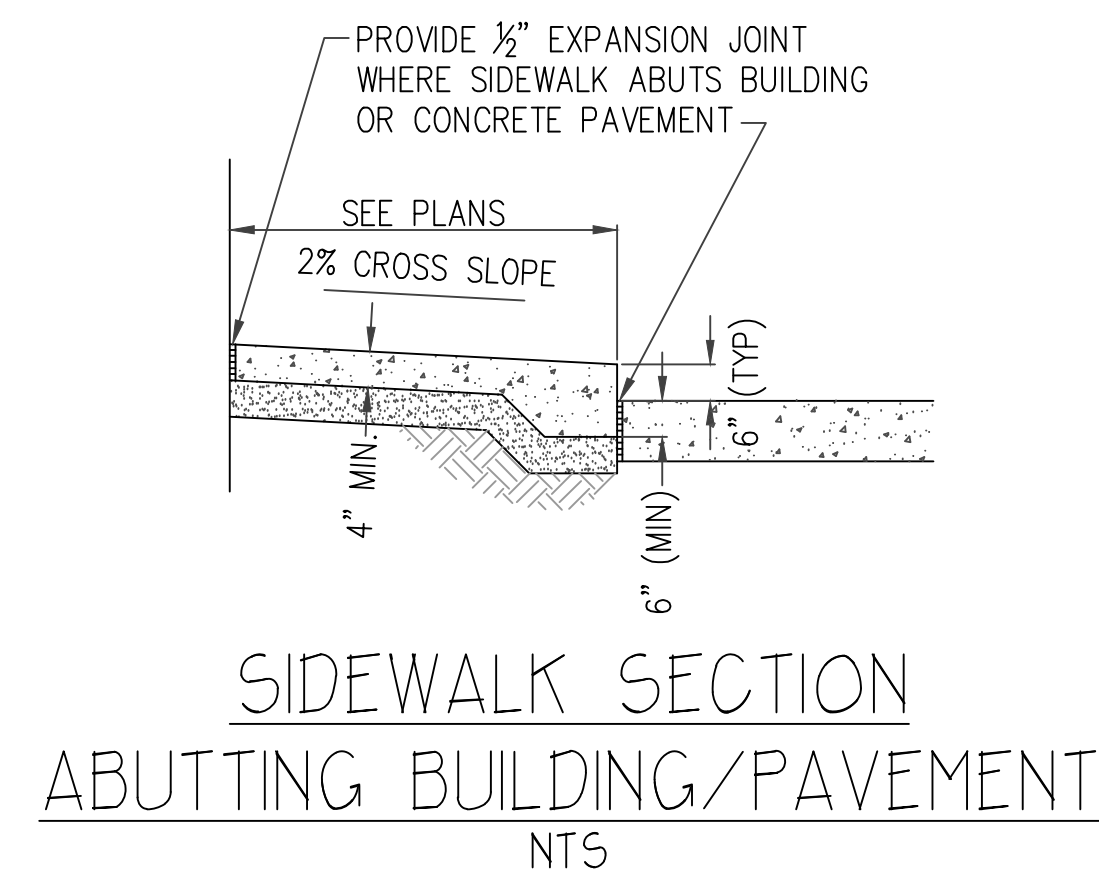
- NOTES:**
1. CONCRETE FOR CURB AND GUTTER TO BE CLASS A, 3500 PSI, 5.5 BAG MIX WITH 4-7% AIR ENTRAINMENT.
  2. ALL CURB AND GUTTER SHALL HAVE A BROOMED FINISH UNLESS OTHERWISE SPECIFIED.
  3. MODIFIED CURB SHALL BE PLACED ACROSS ALL DRIVEWAY ENTRANCES.
  4. CURB AND GUTTER MUST HAVE CONTRACTION JOINTS SAWS EVERY 15 FEET ON CENTER, ALONG PROPOSED CURB, AND SHALL BE SAWS TO A DEPTH OF 1-1/2" WITH A WIDTH OF 1-4". MATERIAL USED TO SEAL JOINTS SHALL BE AS SPECIFIED IN SECTION 501 AHTD STANDARD SPECIFICATIONS OR AS APPROVED BY THE ENGINEER. (OMNISEAL 50 OR EQUAL)
  5. PROVIDE 1/2" PREFORMED EXPANSION JOINT MATERIAL (ASPHALT IMPREGNATED FIBERBOARD OR OTHER APPROVED MATERIAL) AT 200 FOOT INTERVALS, AND AT ALL STATIONARY STRUCTURES, (DROP INLETS, END OF CURBS, DRIVEWAYS, ETC.) OR AS DIRECTED BY ENGINEER. JOINT MATERIAL SHALL HAVE A THICKNESS OF 1/2" INCH AND CONFORM TO AASHTO M 213 STANDARDS.
  6. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH AHTD. IN THE CASE OF CONFLICTS, AHTD'S CRITERIA SHALL GOVERN. REFER TO AHTD STANDARD ROADWAY DRAWING DETAIL CG-1 FOR DIMENSIONS NOT SHOWN.
  7. 2-#6 X 24" SMOOTH DOWEL BARS SHALL BE PLACED ACROSS ALL EXPANSION AND CONTRACTION JOINTS OR WHERE NEW CURB IS ATTACHED TO EXISTING CURB.
  8. ALL CURB AND GUTTER SHALL BE CURED WITH A CURING COMPOUND OR WITH WET BURLAP. AFTER CURB AND GUTTER IS HAS SET, THE AREA BEHIND THE CURB SHALL BE PARTIALLY BACKFILLED BEFORE THE BASE MATERIAL IS PLACED AND COMPACTED.



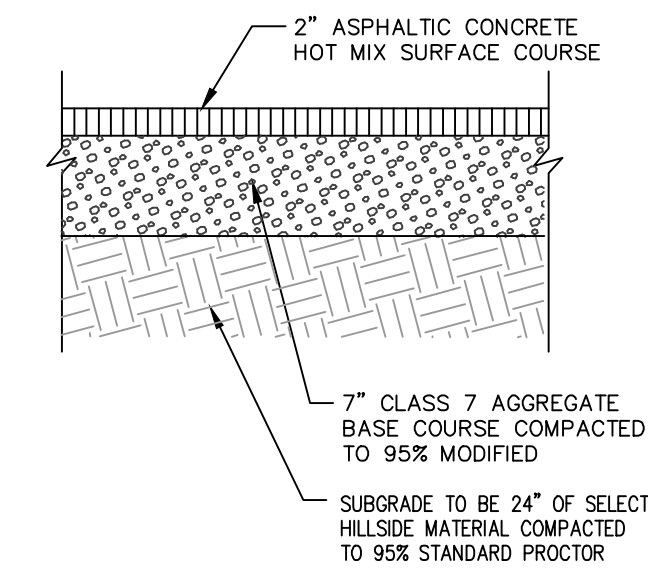
**CURB AND GUTTER DETAILS**  
N.T.S.



NOTE: USE THIS DETAIL FOR MODIFIED CURBS IN CONJUNCTION WITH AHTD STANDARD DRAWING DR-1.



**CONCRETE PAVEMENT SECTION**  
N.T.S.



**ASPHALT PAVEMENT SECTION**  
N.T.S.

ENGINEER: G. BATES  
DRAWN BY: B. WATTS  
02/13/2024  
STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER No. 9810 GEFREY H. BATES  
BATES & ASSOCIATES, INC. #335  
CERTIFICATE OF AUTHORITY  
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2ND SUBMITTAL	02/13/24

DOMINO'S PIZZA  
LARGE SCALE DEVELOPMENT  
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PROJECT NO. 13-208  
DRAWING NO. 07