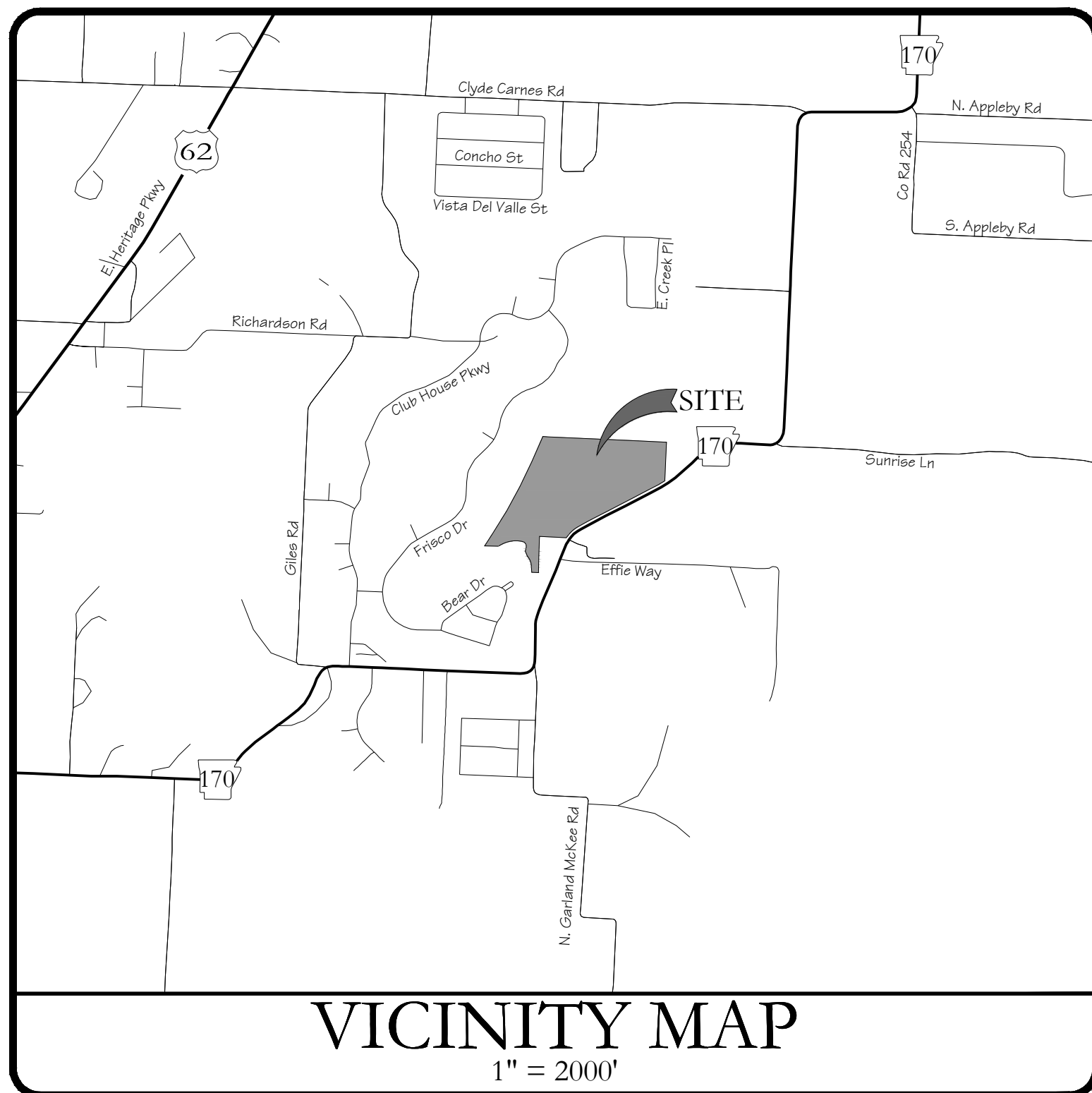


# FINAL PLAT for:

# Hillcrest Subdivision

# Arkansas Highway 170

# Farmington, Arkansas



## General Notes:

1. Current zoning = R-1, Single Family Residential
2. Two sidewalk access ramps will be installed at each street corner as shown on this plat.
3. FEMA Map 05143C0195H, with an effective date of 04/02/2008. The property is determined to be located outside of the 500-year flood and protected by levee from 100-year flood.
4. There are 81 buildable lots.

## Contact Information:

DEVELOPER / OWNER:  
EBL Investments, LLC  
c/o Mr. Nick Limbird  
5247 Metro Park Crossing  
Rogers, AR 72758  
Ph: (855) 755-7653

CIVIL ENGINEERS:  
Blew & Associates, PA  
Mr. W. Gody Sexton P.E.  
5104 S. Pinnacle Hills Pkwy, Ste 1C  
Rogers, AR 72758  
Ph: (479) 443-4506 Fax: (479) 582-1883

LAND SURVEYOR:  
Blew & Associates, PA  
3825 N. Shaloh Drive  
Fayetteville, AR 72703  
Ph: (479) 443-4506 Fax: (479) 582-1883

## Survey Description

**TRACT 1**  
A PART OF THE SW1/4 OF THE NE1/4 OF SECTION 3, TOWNSHIP 15 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: A PART OF THE SW1/4 OF THE NE1/4 OF SECTION 3, TOWNSHIP 15 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS S02°30'18"W 524.73' FROM THE NORTHEAST CORNER OF SAID SW1/4 OF THE NE1/4, SAID POINT BEING A FOUND IRON PIN ON THE SOUTHERLY RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY 170, AND RUNNING THENCE ALONG SAID EAST LINE S02°30'18"W 219.53' TO A FOUND IRON PIN, THENCE LEAVING SAID EAST LINE N86°40'03"W 219.53' TO A FOUND IRON PIN, THENCE N06°07'51"W 198.54' TO A FOUND IRON PIN ON THE SOUTHERLY RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY 170, THENCE ALONG SAID RIGHT-OF-WAY N62°38'52"E 55.76', THENCE N62°08'34"E 162.51', THENCE CONTINUING WITH SAID RIGHT-OF-WAY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 973.70', AN ARC LENGTH OF 21.43', AND A CHORD BEARING AND DISTANCE OF N61°30'45"E 21.43' TO THE POINT OF BEGINNING, CONTAINING 1.26 ACRES MORE OR LESS, SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

**TRACT 2 (28.08 ACRES ±)**  
A PART OF THE SW1/4 OF THE NE1/4 AND A PART OF THE SE1/4 OF THE NW1/4 OF SECTION 3, TOWNSHIP 15 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A FOUND IRON PIN WHICH IS N87°22'39"W 306.49' FROM THE NORTHEAST CORNER OF SAID SW1/4 OF THE NE1/4, AND RUNNING THENCE S05°28'12"W 630.77' TO A FOUND IRON PIN ON THE NORTHERLY RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY 170, THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING 4 COURSES, AND DISTANCES: S62°38'52"W 343.86', S62°29'34"W 182.29', S61°52'27"W 60.58', AND S60°24'46"W 109.54', THENCE CONTINUING ALONG SAID RIGHT-OF-WAY WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 347.80', AND A CHORD BEARING AND DISTANCE OF S50°31'15"W 127.17', THENCE S37°01'37"W 49.03' TO A FOUND IRON PIN, THENCE LEAVING SAID RIGHT-OF-WAY N87°13'14"W 296.62' TO A FOUND IRON PIN, THENCE N87°26'10"W 523.45' TO A FOUND IRON PIN, THENCE WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 6468.13', AND A CHORD BEARING AND DISTANCE OF N27°12'52"E 1218.69' TO A FOUND IRON PIN ON THE NORTH LINE OF SAID SE1/4 OF THE NE1/4, THENCE WITH THE NORTH LINE OF SAID SE1/4 OF THE NW1/4 S87°19'21"E 46.91' TO A FOUND IRON PIN FOR THE NORTHWEST CORNER OF SAID SW1/4 OF THE NE1/4, THENCE WITH THE NORTH LINE OF SAID SW1/4 OF THE NE1/4 S87°22'39"E 1019.63' TO THE POINT OF BEGINNING, CONTAINING 28.08 ACRES MORE OR LESS, SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

**TRACT 3 (5.73 ACRES ±)**  
A PART OF THE SW1/4 OF THE NE1/4 OF SECTION 3, TOWNSHIP 15 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS S02°30'18"W 846.99' FROM THE NORTHEAST CORNER OF SAID SW1/4 OF THE NE1/4, AND RUNNING THENCE ALONG THE EAST LINE OF SAID SW1/4 OF THE NE1/4 S02°30'18"W 464.44' TO A FOUND IRON PIN FOR THE SOUTHEAST CORNER OF SAID SW1/4 OF THE NE1/4,

## Review by City

REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH CITY CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE DEVELOPER OF ANY REQUIREMENTS, EVEN IF ERRORS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE CITY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THE PLANS OR SPECIFICATIONS. ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION.

## Sheet Index

Sheet No	Title	Date
CIVIL PLANS		
C1	Cover Sheet	01/10/2024
C1-1	Overall Final Plat	01/10/2024
C1-2 - C1-4	Final Plat	01/10/2024
ALTA SURVEY		
1	Survey	03/05/2020

THENCE WITH THE SOUTH LINE OF SAID SW1/4 OF THE NE1/4 N87°22'29"W 248.06' TO A POINT, FROM WHICH A FOUND IRON PIN BEARS N05°33'22"E 3.23', THENCE LEAVING SAID SOUTH LINE N05°33'22"E 226.32' TO A FOUND IRON PIN, THENCE N89°21'27"W 436.93' TO A FOUND IRON PIN, THENCE N00°03'48"E 182.85' TO A FOUND IRON PIN ON THE SOUTHERLY RIGHT-OF-WAY OF ARKANSAS HIGHWAY 170, THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING 2 COURSES, AND DISTANCES: N62°29'34"E 95.93', AND N62°38'52"E 450.22' TO A FOUND IRON PIN, THENCE LEAVING SAID RIGHT-OF-WAY S06°07'51"W 198.54' TO A FOUND IRON PIN, THENCE S86°40'03"E 219.53' TO THE POINT OF BEGINNING, CONTAINING 5.73 ACRES MORE OR LESS, SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

**TRACT 2 (1.96 ACRES ±)**  
A PART OF THE SE1/4 OF THE NW1/4 AND A PART OF THE NE1/4 OF THE SW1/4 OF SECTION 3, TOWNSHIP 15 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A FOUND IRON PIN FOR THE NORTHWEST CORNER OF LOT 1, SELEXANDRO-44 1/2 ALLEY, PHASE 1, A SUBDIVISION TO WASHINGTON COUNTY, ARKANSAS, AS SHOWN ON PLAT BOOK 11, PAGE 39, ON FILE IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS, AND RUNNING THENCE S01°01'22"W 186.56' TO A FOUND IRON PIN, THENCE N87°40'20"W 75.59' TO A FOUND IRON PIN, THENCE N02°58'26"W 54.98' TO A FOUND IRON PIN, THENCE WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 177.82', AN ARC LENGTH OF 128.18', AND A CHORD BEARING AND DISTANCE OF N19°29'17"W 125.42' TO A FOUND IRON PIN, THENCE N23°36'29"W 64.82' TO A FOUND IRON PIN, THENCE N16°12'30"E 30.94' TO A FOUND IRON PIN, THENCE WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 55.93', AN ARC LENGTH OF 48.80', AND A CHORD BEARING AND DISTANCE OF N01°44'28"W 47.27' TO A FOUND IRON PIN, THENCE N36°36'47"W 27.33' TO A FOUND IRON PIN, THENCE N72°27'40"W 22.59' TO A FOUND IRON PIN, THENCE WITH A CURVE TO THE LEFT, HAVING A RADIUS OF 343.27', AN ARC LENGTH OF 270.61', AND A CHORD BEARING AND DISTANCE OF S79°08'29"W 263.65' TO A FOUND IRON PIN, THENCE N88°48'26"W 153.60' TO A FOUND IRON PIN, THENCE N33°30'48"E 150.88' TO A FOUND IRON PIN, THENCE S87°26'10"E 523.45' TO A FOUND IRON PIN, THENCE S02°23'17"W 212.45' TO THE POINT OF BEGINNING, CONTAINING 1.96 ACRES MORE OR LESS, SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

**TRACT 3**  
A PART OF THE SW1/4 OF THE NE1/4 OF SECTION 3, TOWNSHIP 15 NORTH, RANGE 31 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A FOUND IRON PIN FOR THE NORTHEAST CORNER OF SAID SW1/4 OF THE NE1/4, AND RUNNING THENCE ALONG THE EAST LINE OF SAID SW1/4 OF THE NE1/4 S02°30'18"W 429.13' TO A FOUND IRON PIN ON THE NORTHERLY RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY 170, THENCE LEAVING SAID EAST LINE AND ALONG SAID RIGHT-OF-WAY WITH A CURVE TO THE RIGHT, HAVING A RADIUS OF 893.70', AN ARC LENGTH OF 69.82', AND A CHORD BEARING AND DISTANCE OF S59°54'17"W 69.81', THENCE CONTINUING WITH SAID RIGHT-OF-WAY S62°08'34"W 162.16', THENCE S62°38'52"W 161.87' TO A FOUND IRON PIN, THENCE LEAVING SAID RIGHT-OF-WAY N05°28'12"E 630.77' TO A FOUND IRON PIN ON THE NORTH LINE OF SAID SW1/4 OF THE NE1/4, THENCE ALONG SAID NORTH LINE S87°22'39"E 306.49' TO THE POINT OF BEGINNING, CONTAINING 3.90 ACRES MORE OR LESS, SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

### Certificate of Approval for Recording:

This plat was approved by the Farmington Planning Commission at a Meeting held \_\_\_\_\_, 20\_\_\_\_.

Date \_\_\_\_\_ Chairman \_\_\_\_\_

### Certificate of Survey and Accuracy:

I hereby certify that the plan shown and described hereon is a true and correct survey and that the monuments have been set as indicated on the plat.

Date \_\_\_\_\_ Registered Land Surveyor/Professional Land Surveyor \_\_\_\_\_

### Certificate of Approval of Utility Easements:

We hereby certify that all utility easements, including cable television easements, platting in this subdivision are shown as requested and were approved by the undersigned utilities of the City of Farmington, Arkansas.

Date \_\_\_\_\_ Electric \_\_\_\_\_

Date \_\_\_\_\_ Gas Service \_\_\_\_\_

Date \_\_\_\_\_ Telephone \_\_\_\_\_

Date \_\_\_\_\_ Cable Television \_\_\_\_\_

Date \_\_\_\_\_ Water \_\_\_\_\_

Date \_\_\_\_\_ Sewer \_\_\_\_\_

### Certificate of Ownership & Dedication

We, the undersigned owners, hereby transmit this plat to the City of Farmington for approval and acceptance and certify to be the Owner(s) of the property described and hereby dedicate all streets, alleys, easements, parks and other open spaces to public and private use as noted. Also established hereby is the right of ingress and egress to said easements, the right to prohibit the erection of buildings and structures within said easements, and the right to remove or trim trees within said easements. The undersigned certify that the platting as filed on record cannot be changed unless vacated pursuant to applicable local or other law.

Date \_\_\_\_\_ Owner \_\_\_\_\_

Date \_\_\_\_\_ Owner \_\_\_\_\_

### Certificate of Approval:

The undersigned hereby certify that to the best of my knowledge and belief, this plat meets current regulations of the City of Farmington as each pertains to this plat and to the area of responsibility shown below.

Building Setback Dimensions: \_\_\_\_\_ Building Inspector \_\_\_\_\_

Public Protection Provisions: \_\_\_\_\_ Fire Chief \_\_\_\_\_

Police Chief \_\_\_\_\_

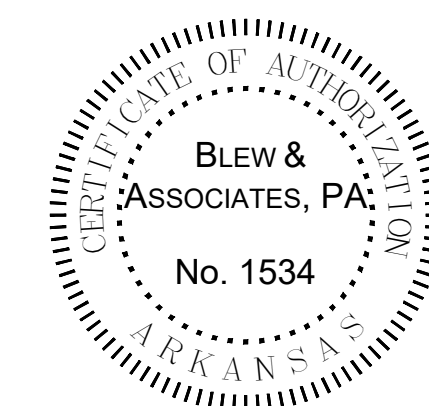
Public Infrastructure: \_\_\_\_\_ City's Engineering Consultant \_\_\_\_\_

### Certificate of Approval of Water & Sewer System:

The water distribution system and sewage collection system installed in this subdivision are hereby approved and accepted by the City of Farmington.

Date \_\_\_\_\_ City Engineer \_\_\_\_\_

CERTIFICATE OF AUTHORIZATION



\* **Engineers Notice \***  
The existence and location of any underground utility pipes or structures shown on these drawings are obtained by a search of the available records. To the best of our knowledge there are no other utility lines or structures shown on these drawings. The Engineer shall not be responsible for the accuracy of the drawings or for the location of any utility lines or structures. The Contractor is required to take the precautionary measures to protect the utility lines shown, and all other lines not of record or not shown on these drawings, by verification of their location in the field prior to the initiation of the actual portion of the their work.

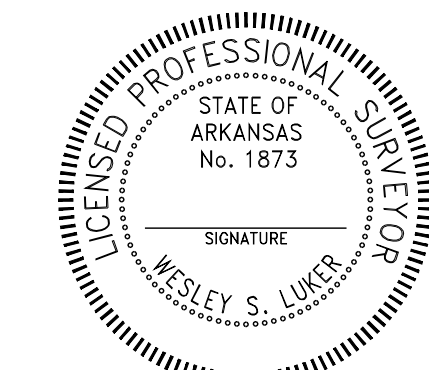
\* **Document Ownership \***  
This document, and the ideas and designs incorporated herein as and instrument of professional services, is the property of Blew & Associates, P.A. and is not to be used, in whole or part, for any other project without the written authorization of Blew & Associates, P.A.

Cover Sheet

Hillcrest Subdivision  
Arkansas Highway 170  
EBL Investments, LLC  
c/o Mr. Nick Limbird  
3601 NW Mountain View Drive, Bentonville, AR 72712  
(479) 799-8929

FINAL PLAT FOR

I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.



IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL AND NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

1874

**BLEW**  
Surveying | Engineering  
Environmental

5102 S. Pinnacle Hills Pkwy Office: (479) 443-4506  
Rogers, Arkansas 72758 www.BLEWINC.com

Certificate of Authorization No. 1534

DATE	JOB NUMBER
2024-01-10	20-320
DRAWN BY:	REVIEWED BY:
A. Tewell	C. Sexton
DRAWING NAME:	
20-320 Final Plat 001.dwg	
SHEET NUMBER	

C1-1

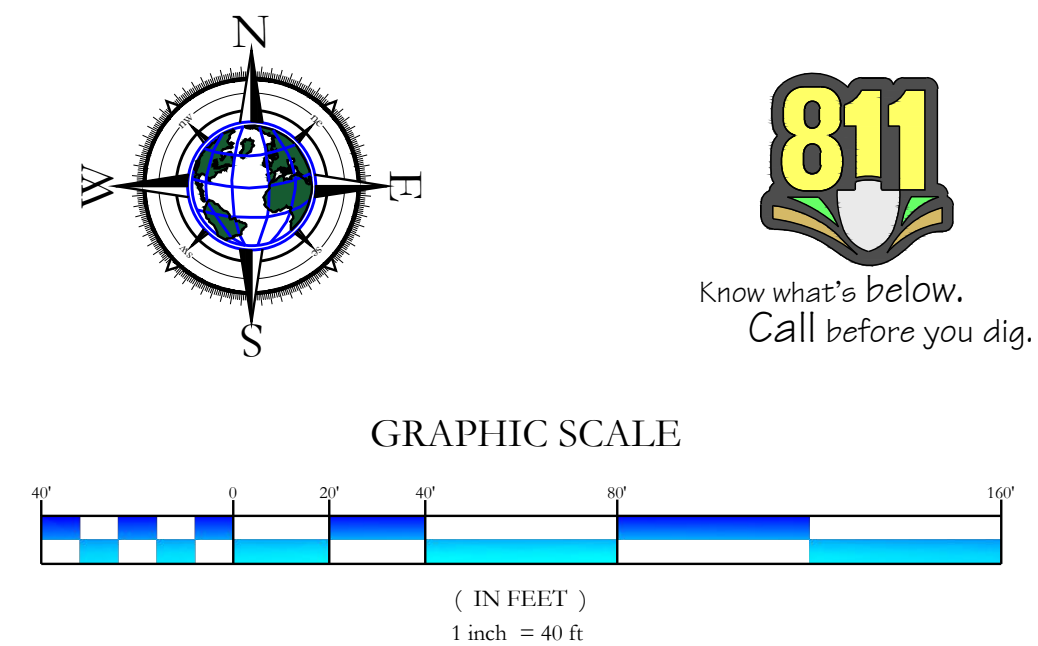




**Proposed Features:**

Feature	Description
	Property Line
	Onsite Property Line
	Offsite Property Line
	Right-Of-Way Line
	Setback Line
	Easement Line
	Zoning Limits
	Street / Drive Centerline
	Curb And Outter (See Site Plan For Size)
	Thickened Edge Of Pavement
	Edge Of Gravel
	Firelane Striping
	Asphalt Pavement (See Detail Sheet For Pavement Sections)
	Concrete Pavement (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk (See Site Plan For Dimensions)
	General Fence Line (See Plan For Type)
	Chain Link Fence Line
	Board Fence Line
	Parking Counter
	Storm Catch Basin(s)
	Retaining Wall
See UTILITY PLAN for More Information	
	Gate Valve
	Fire Hydrant Assembly
	Water Meter - Single
	Water Meter - Double
	Sanitary Sewer Manhole
	Utility Pole
	Light Pole

**Note:**  
 See Survey For Existing Features Legend.  
 See Cover Sheet For Abbreviation List.

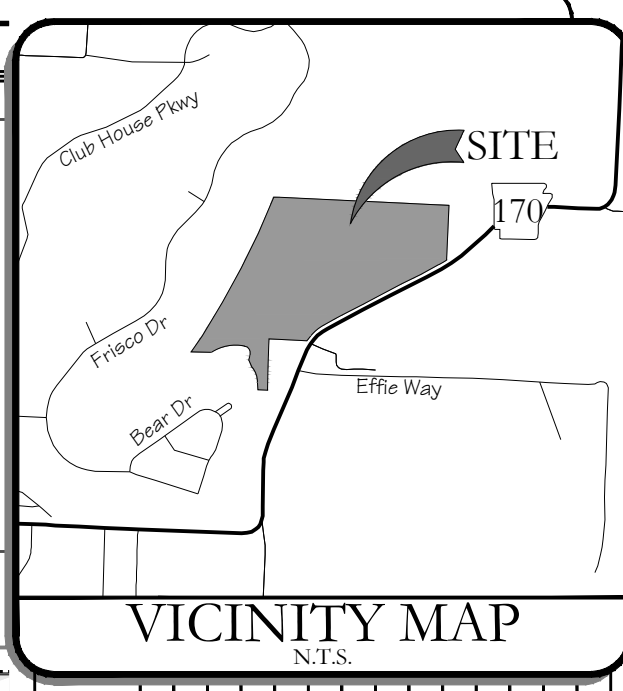


**Site Plan Notes:**

- Crosswalk and Curb Ramp with Truncated Dome Detectable Warnings per ADA and/or Municipal Specifications.
- Street Light per Municipal Standards.
- Taper Curb from 6" to 0" in 2'-0"
- Match Existing Sidewalk
- End of Curb
- Curb / Sidewalk Ramp per City / Highway Department Standards (Whichever is More Stringent)

Parcel 760-02911-000  
 Valley View Golf LLC  
 11520 Clubhouse Pkwy  
 Farmington, AR 72730  
 Zoning R-1

P:\20-320 Farmington subdivision\civil drawings\20-320 final plat 001.dwg - Plotted on 2/12/2024 3:26:09 PM @ a scale of 1:1 to autocad pdf (smallest file) .pc3 by Alexis Tewell



REVISIONS:

NO.	DATE	DESCRIPTION

**Final Plat**

**Hillcrest Subdivision**  
 Arkansas Highway 170  
**EBL Investments, LLC**  
 c/o Mr. Nick Limbird  
 3601 NW Mountain View Drive, Bentonville, AR 72712  
 (479) 799-8929

Preliminary Plat for:

I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS DATE: \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

**WESLEY S. LUKER**  
 LICENSED PROFESSIONAL SURVEYOR  
 STATE OF ARKANSAS  
 No. 1873

IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL AND NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

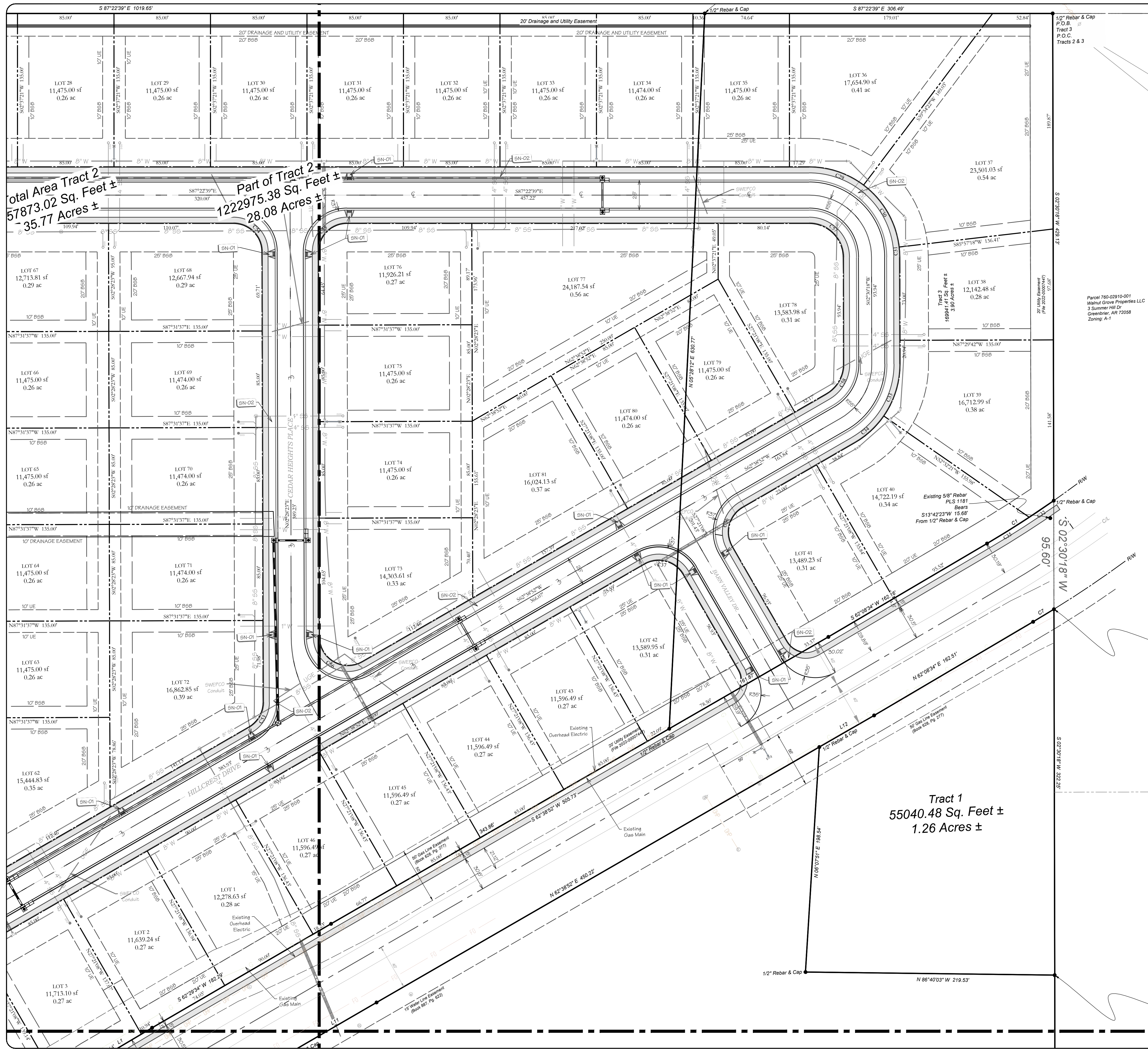
**BLEW**  
 Surveying | Engineering  
 Environmental

5102 S. Pinnacle Hills Pkwy Office: (479) 443-4506  
 Rogers, Arkansas 72758 www.BLEWINC.com

Certificate of Authorization #1534

DATE: 2024-01-10	JOB NUMBER: 20-320
DRAWN BY: A. Tewell	REVIEWED BY: C. Sexton
DRAWING NAME: 20-320 Final Plat 001.dwg	
SHEET NUMBER: C1-3	

P:\20-320 Farmington subdivision\civil drawings\20-320 final plat 001.dwg - Plotted on 2/12/2024 3:29:47 PM @ a scale of 1:1 to autocad pdf (email: fbp3 by Alexis Tewell)



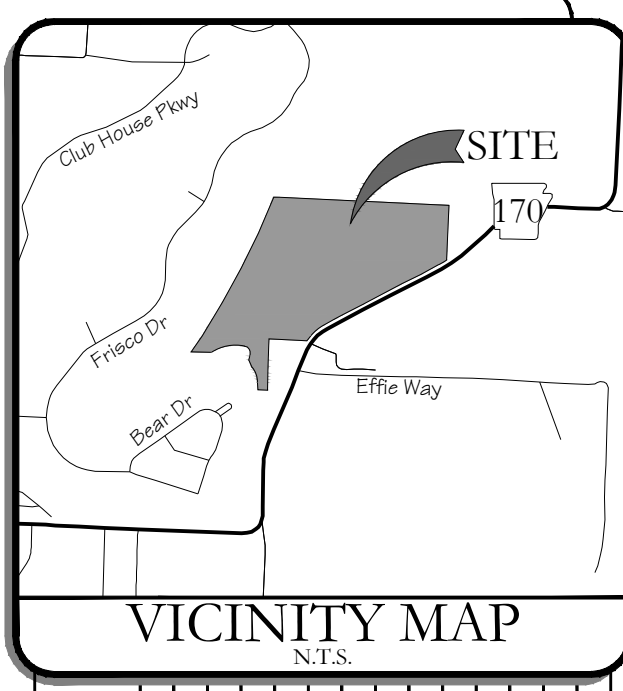
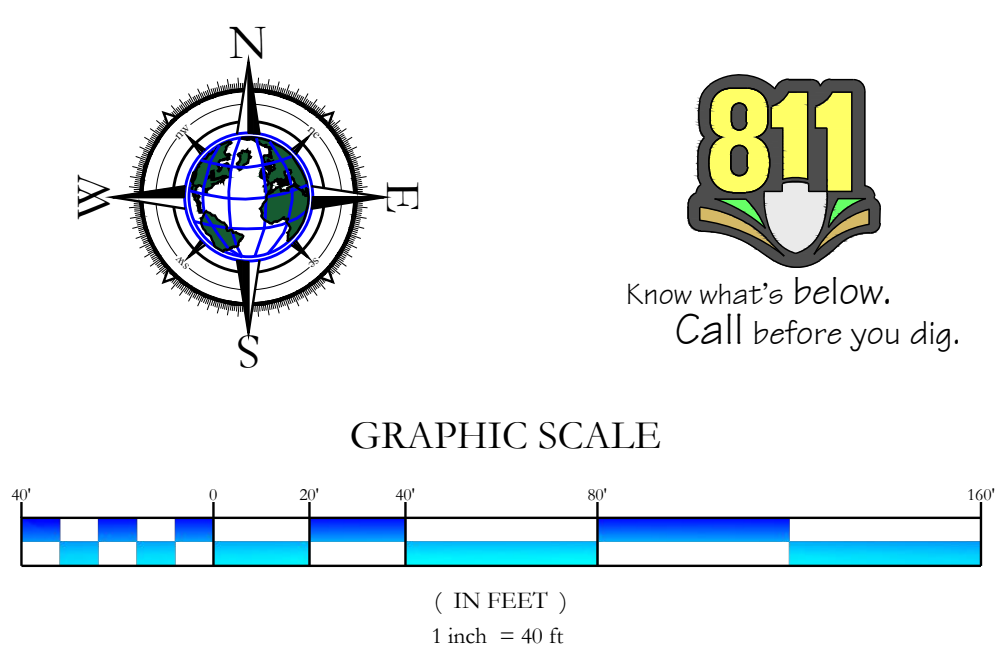
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57873.02 Sq. Feet ±  
1222975.38 Sq. Feet ±  
35.77 Acres ±  
28.08 Acres ±

Tract 1  
55040.48 Sq. Feet ±  
1.26 Acres ±

**Proposed Features:**

Feature	Description
	Property Line
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	Offsite Property Line
	Right-Of-Way Line
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	Easement Line
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WESLEY S. LUKER  
LICENSED PROFESSIONAL SURVEYOR  
STATE OF ARKANSAS  
No. 1873

**BLEW**  
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5102 S. Pinnacle Hills Pkwy Rogers, Arkansas 72758 | Office: (479) 443-4506 | www.BLEWINC.com

Certificate of Authorization No. 1534

DATE: 2024-01-10 | JOB NUMBER: 20-320

DRAWN BY: A. Tewell | REVIEWED BY: C. Sexton

DRAWING NAME: 20-320 Final Plat 001.dwg

SHEET NUMBER: C1-4