# **RESERVE ON RHEAS MILL** WASHINGTON COUNTY PRELIMINARY PLAT

### LEGEND (EXISTING SYMBOLS)

#### SYMBOLS

TV PEDESTAL MANHOLE

GAS METER

GAS VALVE

DOWN GUY

WATER VALVE

WATER METER

GRATED INLET

DROP INLET

TREE

SPRINKLER HEAD

ELECTRIC PEDESTAL

TREE TO BE REMOVED

<u>SYMBOLS</u>

SET IRON PIN LIGHT POLE

POWER POLE

TV PEDESTAL

MANHOLE

GAS METER

GAS VALVE

WATER VALVE

WATER METER

REDUCER

SHEET)

SHEET)

STORM SEWER PIPE

STRUCTURE NUMBER

AIR RELEASE VALVE

BACK FLOW PREVENTER

RECTANGULAR DROP INLET,

BOX (SPECIFY ON PLAN

CIRCULAR DROP INLET,

BOX (SPECIFY ON PLAN

GRATED INLET OR JUNCTION

GRATED INLET OR JUNCTION

FIRE HYDRANT ASSEMBLY

FIRE DEPARTMENT CONNECTION

TELEPHONE PEDESTAL

SANITARY SEWER CLEANOUT

STORM SEWER PIPE

FIRE HYDRANT ASSEMBLY

FIRE DEPARTMENT CONNECTION

AIR RELEASE VALVE

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FOUND IRON PIN LIGHT POLE POWER POLE

TELEPHONE PEDESTAL

SANITARY SEWER CLEANOUT

**LINEWORK** 

CURB	— 1206— —
INTERMEDIATE CONTOUR	1200
INDEX CONTOUR	
SANITARY SEWER LINE	
GAS LINE G	— — G —
WATER LINE (SPECIFY SIZE & TYPE)	— — — W —
UNDERGROUND TELEPHONE	
UNDERGROUND ELECTRIC	
OVERHEAD ELECTRIC	₩
UNDERGROUND TELEVISION	— —— UGTV -
OVERHEAD TELEVISION	— — OHTV -
CHAIN LINK FENCE	
WOOD FENCE	////
BARBED WIRE FENCE	X
FIBER OPTIC	— — F0 —

### LEGEND (CONSTRUCT)

#### **LINEWORK**

EASEMENT		 
CURB		
INTERMEDIATE CONTOUR		
INDEX CONTOUR		
SANITARY SEWER LINE		
GAS LINE	_	
WATER LINE		
UNDERGROUND TELEPHONE		AL
		NV AÅ
OVERHEAD ELECTRIC		IA
FIBER OPTIC		
UNDERGROUND TELEVISION		
OVERHEAD TELEVISION		
CHAIN LINK FENCE		
WOOD FENCE		//
BARBED WIRE FENCE	—X —	X
BUILDING SET BACK		



**Call** before you dig.

SITE STABILIZATION AND CERTIFICATION

\_\_\_\_\_

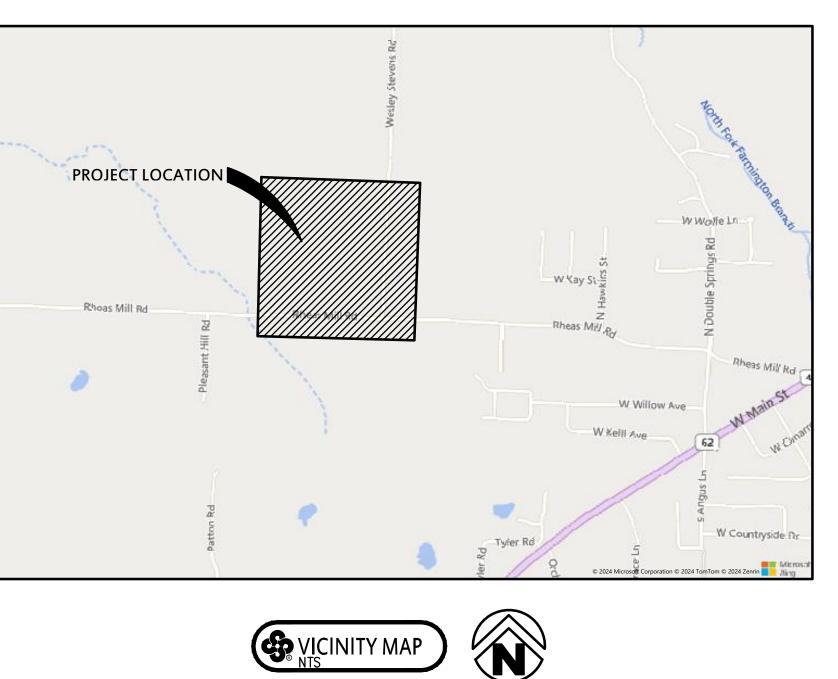
PROPERTY LINE

ROAD CENTERLINE

CRAFTON TULL CANNOT CERTIFY THE SITE AS COMPLETE IN ORDER TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.

### COVER SHEET; GENERAL NOTES

- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR
- LOCATION OF ALL FACILITIES BEFORE BEGINNING WORK.
- 3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONSTRUCTION SITE.
- 4. THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN
- 5. ALL TIMES DURING CONSTRUCTION.
- INCONSISTENCY IS IDENTIFIED IN THE PLANS OR SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REGULATIONS.
- WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST ENERGIZED ELECTRICAL LINE.
- 10. NO RESTRICTIONS ARE LISTED ON THE CURRENT DEED.



REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE ONLY FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS 2. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS IS BASED ON A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. CRAFTON TULL ASSUMES NO RESPONSIBILITY REGARDING THE ACCURACY OF THE DEPICTED LOCATION(S) OF THE UNDERGROUND FACILITIES ON THESE

DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ANY OTHER FACILITIES NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY

CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE

INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF CRAFTON, TULL & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CRAFTON, TULL & ASSOCIATES,

CONTRACTOR SHALL NOT CAUSE ANY LONG-TERM INCONVENIENCE TO THE PUBLIC, ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT

6. CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A DISCREPANCY OR

SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT WHICH ARE NECESSARY TO CONFORM TO OSHA, FEDERAL, STATE AND LOCAL

ENGINEER OF RECORD SHALL OBSERVE THE INSTALLATION OF THE WATER & SEWER MAINS. BEYOND THAT SCOPE, CRAFTON TULL & ASSOCIATES, INC. (CTA) HAS NOT BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION OR OBSERVATION SERVICES FOR THE WORK INDICATED ON THESE DRAWINGS. THEREFORE, CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CRAFTON, TULL & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION, OR ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREOF. FURTHERMORE, CRAFTON, TULL & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANY EFFECTS THAT ANY CHANGES TO THESE DOCUMENTS MAY HAVE ON ANY RELATED TRADES, CONSTRUCTION SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT EXCEPT AS SPECIFICALLY NOTED IN THE AGREEMENT BETWEEN CRAFTON, TULL & ASSOCIATES AND THE OWNER. 9. ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED NOTICES: ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH. COMPLYING

11–5–308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC. PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY

### 

<u>WATER</u> WASHINGTON WATER AUTHORITY FARMINGTON, AR PHONE: (479) 267–2111

CABLE / TELEPHONE AT&T

JEFF HAMILTON FAYETTEVILLE. AR PHONE: (479) 442–3107 OZARKS GO WES MAHAFFEY PO BOX 848 FAYETTEVILLE, AR 72702 PHONE: (479) 521–2900

**ELECTRIC** OZARKS ELECTRIC COOPERATIVE CORP. WES MAHAFFEY PO BOX 848 FAYETTEVILLE, AR 72702 PHONE: (479) 521–2900

WASHINGTON COUNTY ROAD DEPARTMENT WASHINGTON COUNTY ROAD DEPARTMENT 2615 S BRINK DRIVE FAYETTEVILLE, AR 72701 PHONE: (479) 444–1610

#### FLOOD NOTE:

THIS PROPERTY IS NOT IN FLOOD ZONE "A" OR "AE", AND IS OUTSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05143C0045 G, EFFECTIVE DATE JANUARY 25, 2024. THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO

LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR AND NO OPINION OF FLOOD HAZARDS IS INCLUDED IN THIS SURVEY. THE FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON WERE SCALED FROM THE MAPS CITED AND ARE NOT THE RESULT OF INDEPENDENT COMPUTATION OR ANALYSIS.

### PROJECT INFORMATION

BUILDING SETBACK:

SITE AREA: ZONING: PROPERTY USAGE:

ADDRESS:

SITE OWNER/DEVELOPER:

SITE ENGINEER:

FRONT 35' SIDE 10' REAR 20' 39.77 AC. (1,732,381.2 SQ.FT.)

RE-2

RESIDENTIAL WESLEY STEVENS RD

RHEAS MILL DEVELOPMENT LLC 124 W SUNBRIDGE DR, SUITE 8 FAYETTEVILLE, AR 72703

CRAFTON TULL CAROLINE GARDNER, P.E. 300 N. COLLEGE AVE., SUITE 317 FAYETTEVILLE, AR 72701 479-636-4838

Crafte R Crafte	lege Ave., Suite 317 ville, Arkansas 72701 <b>ON TUII</b> 479.636.4838 t
CERTIFICATE OF AUTHORIZATION:	CRAFTON, TULL & ASSOCIATES, INC. No. 109
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Key Plan	Date
	Date
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C-001	

PROPERTY DESCRIPTION

THE SE 1/4 OF THE SE 1/4 OF SECTION 21, TOWNSHIP 16 NORTH, RANGE 31 WEST, WASHINGTON COUNTY ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE SE 1/4 OF THE SE 1/4 OF SAID SECTION 21, SAID POINT BEING AN ALUMINUM CAP; THENCE ALONG THE SOUTH LINE THEREOF N88'05'59"W 1309.27 FEET TO THE SOUTHWEST CORNER OF THE SE 1/4 OF THE SE 1/4 OF SAID SECTION 21, SAID POINT BEING A 5/8" IRON PIN FROM WHICH A 1/2" IRON PIN BEARS N02°51'57"E 29.61 FEET; THENCE ALONG THE WEST LINE THEREOF NO2 20'40"E 1324.00 FEET TO THE NORTHWEST CORNER OF THE SE 1/4 OF THE SE 1/4 OF SAID SECTION 21, SAID POINT BEING A 1/2" IRON PIN WITH PS 1756 CAP;

THENCE ALONG THE NORTH LINE THEREOF S88'02'03"E 658.99 FEET TO A 1/2" IRON PIN WITH PS 1298 CAP;

THENCE CONTINUING ALONG SAID NORTH LINE S88°02'03"E 633.42 FEET TO A 1/2" IRON PIN WITH PS 1298 CAP; THENCE CONTINUING ALONG SAID NORTH LINE S88'02'03"E 16.61 FEET TO THE NORTHEAST

CORNER OF THE SE 1/4 OF THE SE 1/4 OF SAID SECTION 21; THENCE ALONG THE EAST LINE THEREOF S02 20'03"W 1322.49 FEET TO THE POINT OF

BEGINNING, CONTAINING 39.77 ACRES, MORE OR LESS AND SUBJECT TO THE RIGHT OF WAY WEST RHEAS MILL ROAD ALONG THE SOUTH, THE RIGHT OF WAY OF WESLEY STEVENS ROAD ALONG THE EAST, AND SUBJECT TO ANY AND ALL EASEMENTS OF RECORD OR FACT.

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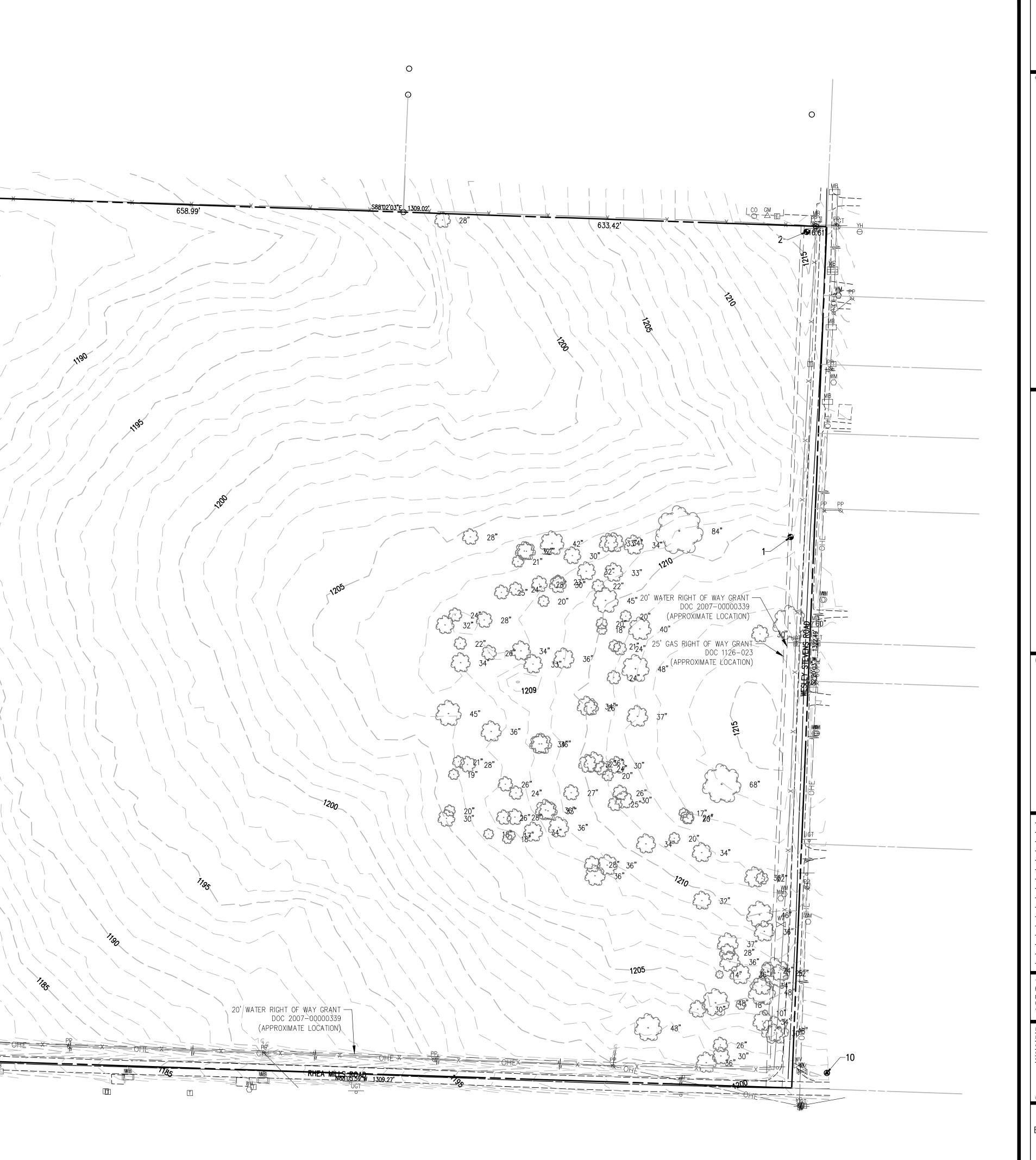
neet List Table	C-205	STREET B P&P
	C-206	STREET C P&P
SHEET TITLE	C-207	STREET C P&P
COVER SHEET	C-208	RHEAS MILL ROAD P&P
SHEET LIST	C-209	RHEAS MILL ROAD P&P
BOUNDARY SURVEY	C-210	RHEAS MILL ROAD P&P
OVERALL SITE PLAN (C)	C-211	WESLEY STEVENS ROAD P&P
OVERALL PRELIMINARY PLAT	C-212	WESLEY STEVENS ROAD P&P
PRELIMINARY PLAT A	C-213	WESLEY STEVENS ROAD P&P
PRELIMINARY PLAT B	C-214	WATERLINE 1 P&P
PRELIMINARY PLAT TABLES	C-215	WATERLINE 1 P&P
OVERALL UTILITY PLAN (C)	C-216	WATERLINE 1 P&P
UTILITY PLAN A (C)	C-217	WATERLINE 1 P&P
UTILITY PLAN B (C)	C-218	WATERLINE 2 P&P
	C-219	WATERLINE 2 P&P
UTILITY PLAN C (C)	C-220	WATERLINE 2 P&P
SEPTIC LAYOUT A (C)	C-221	WATERLINE 3 P&P
SEPTIC LAYOUT B (C)	C-222	WATERLINE 3 P&P
OVERALL GRADING PLAN	C-223	WATERLINE 4 P&P
GRADING PLAN A	C-224	WATERLINE 4 P&P
GRADING PLAN B	C-501	TYPICAL SECTIONS
EROSION CONTROL PLAN PH I	C-502	WASHINGTON WATER AUTHORITY DETAILS
EROSION CONTROL PLAN PH II	C-503	EROSION CONTROL DETAILS
INTERSECTION PLAN	C-504	EROSION CONTROL DETAILS
STREET A P&P	C-505	EROSION CONTROL DETAILS
STREET A P&P	L-101	OVERALL PLANTING PLAN
STREET A P&P	L-401	ENTRY PLANTING ENLARGEMENTS
STREET B P&P		

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FARMINGTON, AR
Key Plan
No.         Description         Date
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	CO	NTROL POI	NT TABLE	
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	630885.52	642038.61	1210.59	CTL 5/8 BPCAP
2	631353.96	642063.19	1215.92	CTL 5/8 BPCAP
3	631380.96	640780.69	1186.68	CTL 5/8 BPCAP
10	630063.25	642094.45	1200.20	ALUM MON F-1

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Ĭ	Crafton Tull 479.636.4838 t www.craftontull.com
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QC Dat	



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#### <u>SYMBOLS</u>

BENCHMARK FOUND IRON PIPE/REBAR PRIMARY CONTROL/SET MONUMENT FOUND MONUMENT/ROW

#### LINEWORK

EASEMENT		
= = = = = = = = = = = = = = = = = = =	======	=======
RIGHT OF WAY		
ROAD CENTERLINE		

## LEGEND (CONSTRUCT)

#### <u>SYMBOLS</u>

set iron pin Light pole

#### <u>LINEWORK</u>

EASEMENT	
CURB	
BUILDING SET BACK	
RIGHT OF WAY	

\_\_\_\_

PROPERTY LINE
ROAD CENTERLINE

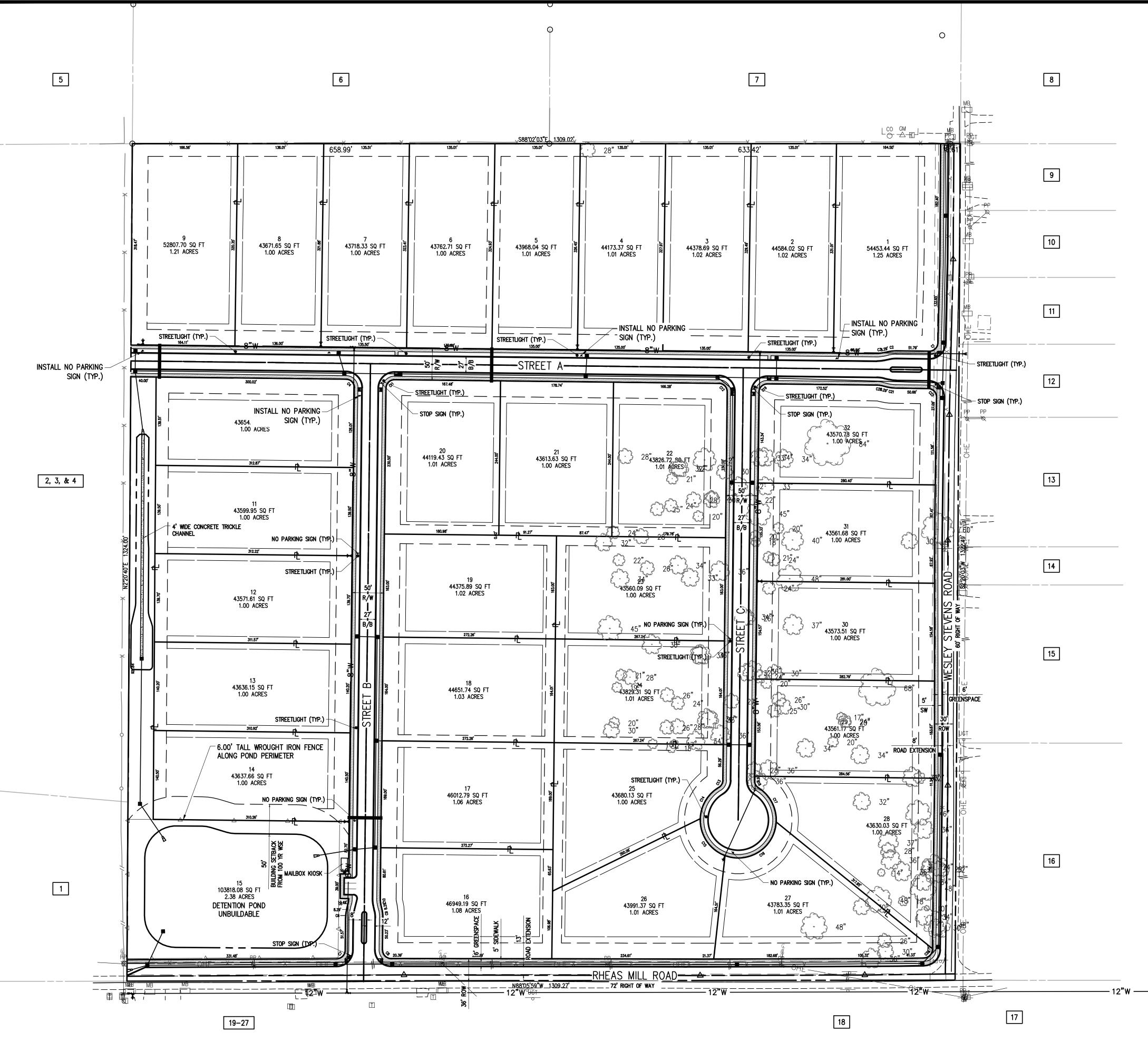
### SITE NOTES

- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
- 2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE/FEDERAL REGULATIONS AND CODES AND OSHA STANDARDS.
- 3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- 4. ALL CURB DIMENSIONS AND RADII ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS DIMENSIONS FACE OF CURB UNLESS OTHERWISE NOTED.
   ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 7. ALL CURB/SIDEWALK/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL
- RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.
   CONTRACTOR SHALL MATCH NEW CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- 10. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.

### PROJECT INFORMATION

SITE AREA:	ACRES
G:	<u>RE-2</u>
ABLE LOTS: _DABLE LOTS:	31 1
LOTS:	32
PARKING:	3 STALLS

	300 N College Ave., Suite 317 Fayetteville, Arkansas 72701
	Crafton Tull
	e 479.636.4838 t www.craftontull.com
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	ASSOCIATES, INC. No. 109
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	PLANS AND SEALED OCUMENT
	· · NOITOURTEN
$\frown$ 101	OVERALL SITE PLAN (C)
	C-101



•

5	LEGEND	(EXISTING	SYMBOLS)

#### <u>SYMBOLS</u>

BENCHMARK FOUND IRON PIPE/REBAR FOUND MONUMENT/ROW

TREE

INEWORK	

\_\_\_\_\_ EASEMENT RIGHT OF WAY \_\_\_\_\_

ROAD CENTERLINE

### LEGEND (CONSTRUCT)

#### <u>SYMBOLS</u>

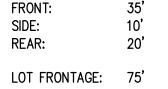
SET IRON PIN LIGHT POLE

### <u>LINEWORK</u>

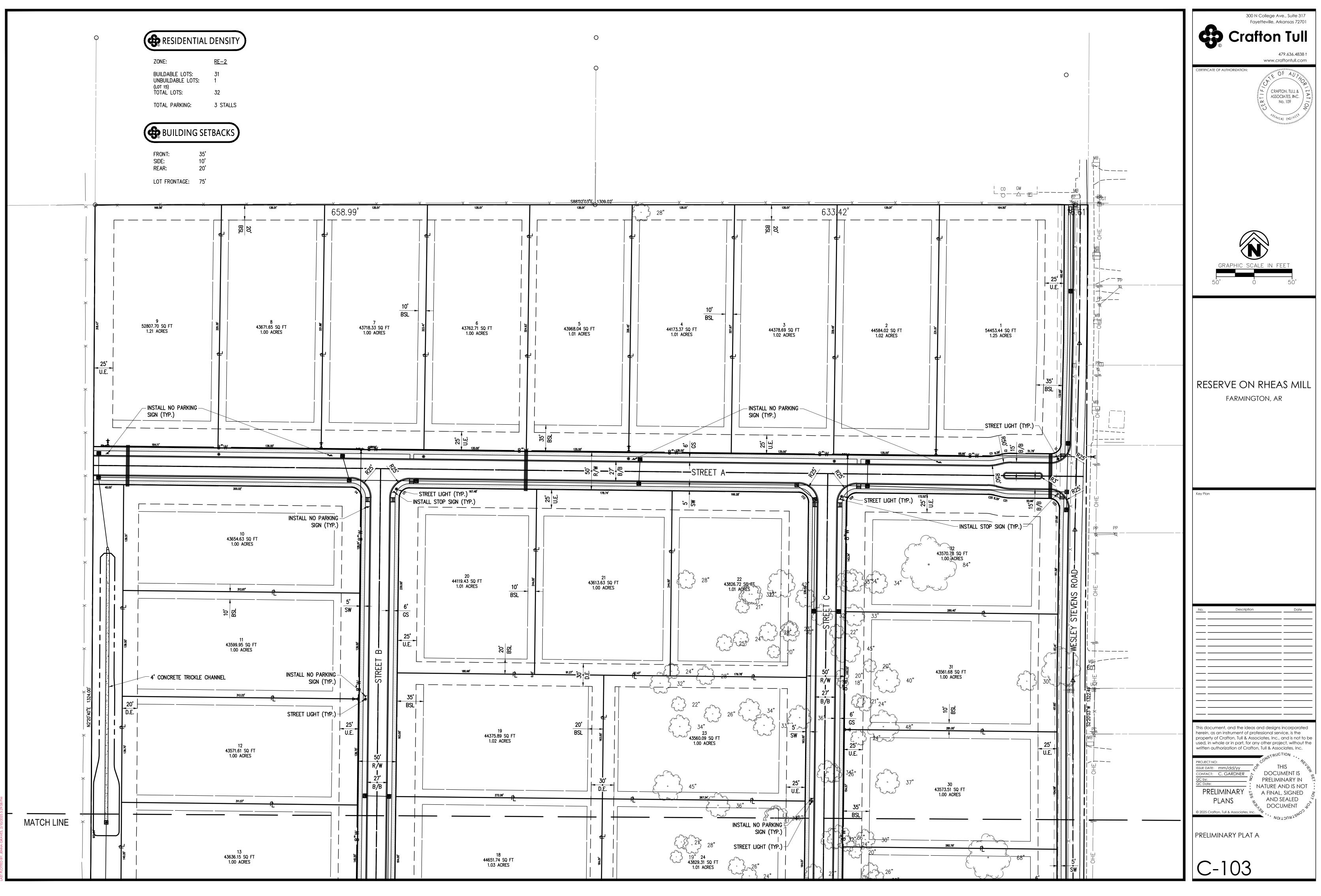
EASEMENT	 	 
CURB		
BUILDING SET BACK		
RIGHT OF WAY		
PROPERTY LINE	 	

ROAD CENTERLINE

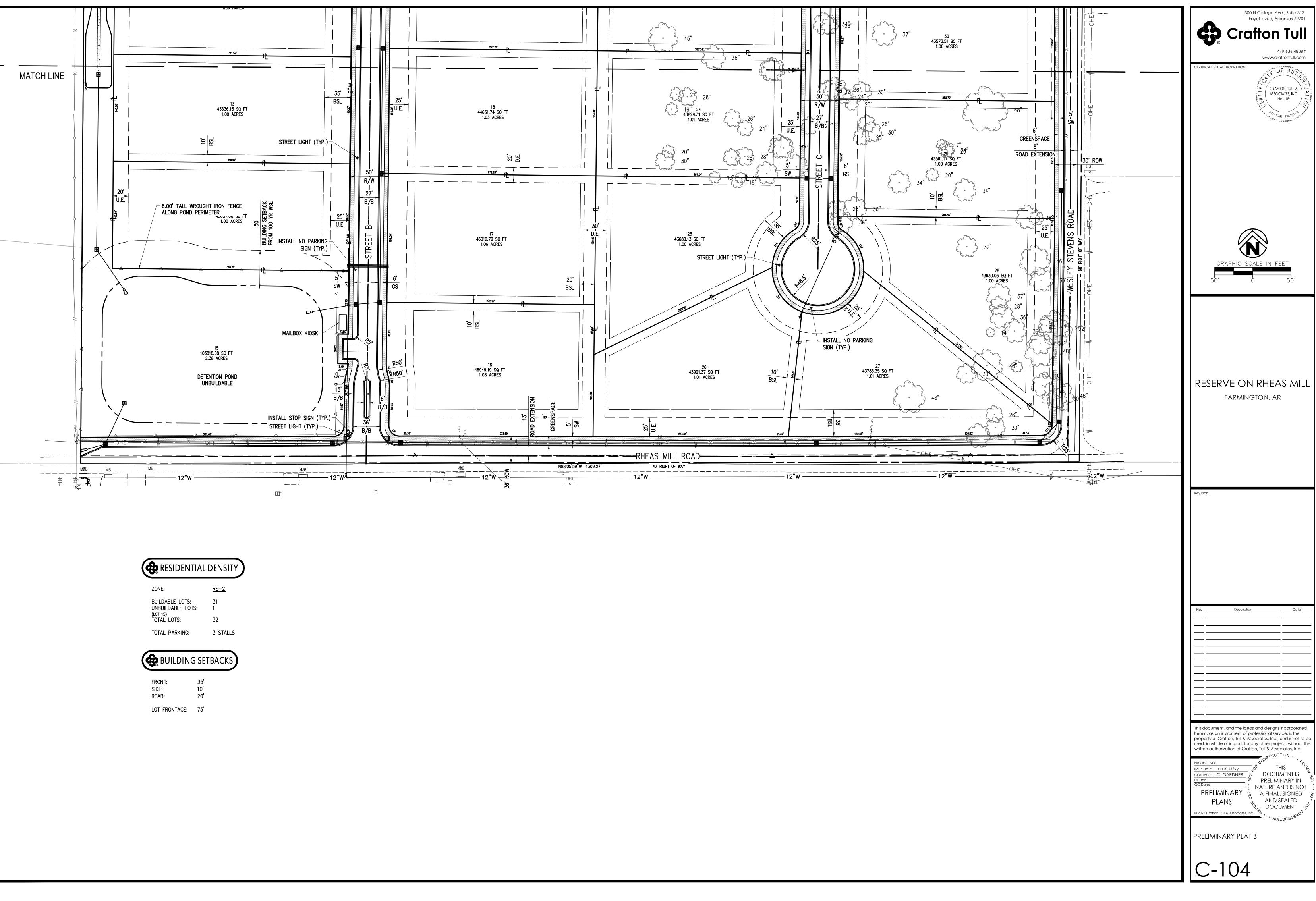
😚 RESIDENTIAL	DENSITY
ZONE:	<u>RE-2</u>
BUILDABLE LOTS: UNBUILDABLE LOTS:	31 1
(LOT 15) TOTAL LOTS:	32
TOTAL PARKING:	3 STALLS
BUILDING SE	TBACKS



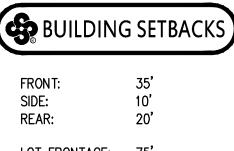
300 N College Ave., Suite 317 Fayetteville, Arkansas 72701
<b>C</b> Crafton Tull
479.636.4838 t www.craftontull.com
CERTIFICATE OF AUTHORIZATION:
CRAFTON, TULL & ASSOCIATES, INC. No. 109
No. 109
MANSAS ENGINE
GRAPHIC SCALE IN FEET
80' 0 80'
RESERVE ON RHEAS MILL
FARMINGTON, AR
Kev Plan
Key Plan
No.         Description         Dote
No.         Description         Dote
No.         Description         Dote
No.       Description       Date



NING: G:\24304300. RHEAMILLSSUBVINFRASTRUCTURE\CIVIL\DWG\IPRELIMINARY PLAT.DWG DUT: PRELIMINARY PLAT A , LAST SAVED: JG5267, 2/10/2025 5:12:19 PM



RESIDENTIA	L DENSITY
ZONE:	<u>RE-2</u>
BUILDABLE LOTS: UNBUILDABLE LOTS: (101-15)	31 1
(LOT 15) TOTAL LOTS:	32
TOTAL PARKING:	3 STALLS



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	21.03'	13.50'	8915'05"	N47° 59' 09"E	18.97'
C2	14.10'	61.50 <b>'</b>	13*08'02"	N86° 02' 40"E	14.07'
C3	8.83'	38.50'	13*08'02"	N86°02'40"E	8.81'
C4	21.21'	13.50'	90°00'00"	N42°23'19"W	19.09'
C5	8.32'	37.73'	12 <b>*</b> 38'29"	N9° 29' 04"E	8.31'
C6	14.10'	61.50'	13 <b>°</b> 08'02"	N9°10'42"E	14.07'
C7	21.00'	13.50'	89 <b>°</b> 06'29"	N47°09'56"E	18.94'
C8	21.42'	13.50'	90 <b>°</b> 53'31"	S42° 50' 04"E	19.24'
C9	14.10'	61.50'	13 <b>°</b> 08'02"	S3° 57' 20"E	14.07'
C10	8.83'	38.50'	13 <b>°</b> 08'02"	S3° 57' 20"E	8.81'
C11	21.21'	13.50'	90°00'00"	S47° 36' 41"W	19.09'
C12	21.21'	13.50'	90°00'00"	N42° 23' 19"W	19.09'
C13	13.76'	13.50'	58 <b>°</b> 24'43"	N31° 49' 02"E	13.17'
C14	59.87 <b>'</b>	60.00'	57 <b>°</b> 10'16"	N32° 26' 16"E	57.42'
C15	74.92'	60.00'	71 <b>°</b> 32'42"	N31° 55' 13"W	70.15'
C16	112.64'	60.00'	107 <b>•</b> 33'37"	S58° 31' 37"W	96.81'
C17	63.40 <b>'</b>	60.00'	60 <b>°</b> 32'50"	S25° 31' 37"E	60.50'
C18	13.76'	13.50'	58 <b>°</b> 24'43"	S26° 35' 40"E	13.17'
C19	21.21'	13.50'	90°00'00"	S47° 36' 41"W	19.09'
C20	8.83'	38.50'	13 <b>°</b> 08'02"	N80° 49' 18"W	8.81'
C21	14.10'	61.50'	13 <b>°</b> 08'02"	N80° 49' 18"W	14.07'
C22	21.38'	13.50'	90*44'55"	N42°00'51"W	19.22'
C23	20.80'	13.50'	88ٵ7'54"	N46° 52' 47"E	18.81'

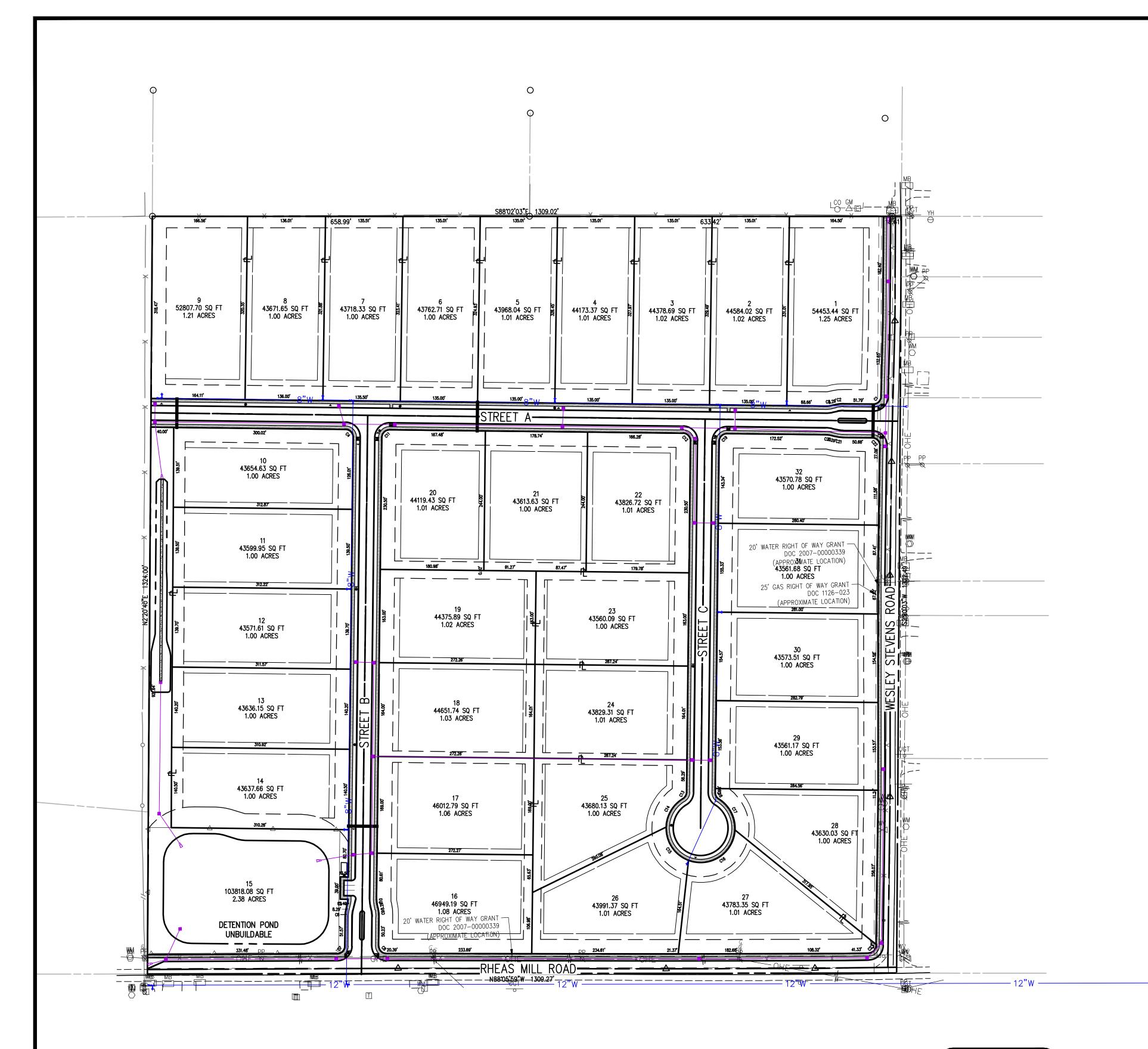
### ADJACENT PROPERTY OWNERS

OWNER ADDRESS 708 RHEAS MILL RD, FARMINGTON, AR 72 4790 W PLYMOUTH ROCK PL, FAYETTEVILLE, A 4790 W PLYMOUTH ROCK PL, FAYETTEVILLE, A 4790 W PLYMOUTH ROCK PL, FAYETTEVILLE, A 496 DOUBLE SPRINGS RD, FARMINGTON, AR 730 LINDLE RD, FARMINGTON, AR 7273 101 WESLEY STEVENS RD, FARMINGTON, AR 92 WESLEY STEVENS RD, FARMINGTON, AR 84 WESLEY STEVENS RD, FARMINGTON, AR 92 WESLEY STEVENS RD, FARMINGTON, AR 70 WESLEY STEVENS RD, FARMINGTON, AR 2501 W ARTHUR HART ST, FAYETTEVILLE, AR 50 WESLEY STEVENS RD, FARMINGTON, AR 541 RHEAS MILL RD, FARMINGTON, AR 72 36 WESLEY STEVENS RD, FARMINGTON, AR 588 RHEAS MILL RD, FARMINGTON, AR 72 1529 DEVONSHIRE PLACE, FAYETTEVILLE, AR 3727 S SWEET GUM AVE, BROKEN ARROW, OK 669 RHEAS MILL, FARMINGTON, AR 7273 673 RHEAS MILL, FARMINGTON, AR 7273 683 RHEAS MILLS, FARMINGTON, AR 7273 683 RHEAS MILLS, FARMINGTON, AR 7273 695 RHEAS MILLS, FARMINGTON, AR 7273 703 RHEAS MILLS, FARMINGTON, AR 727 701 RHEAS MILLS, FARMINGTON, AR 7273 699 RHEAS MILLS, FARMINGTON, AR 727 558 N RIDING RIDGE RD, FAYETTEVILLE, AR

		ADJACENT PR
<b>IBER</b>	PARCEL ID	OWNER
1	760-01836-001	GIBBANY, MARY LOU
2	760-01836-000	HARDIN, LARRY CRAIG & APRIL D
3	760-01834-000	HARDIN, LARRY CRAIG & APRIL D
4	760-01835-000	HARDIN, LARRY CRAIG & APRIL D
5	760-02375-000	GOOSE CREEK PROPERTIES LLC
6	760-01825-005	FLORES, DAVID & ANNA
7	760-01825-000	JONES, ROBERT BLAIN & LORETTA M
8	760-01845-000	TAYLOR, MATTHEW RICHARD & OUYOUMJIAN, STEPHANIE
9	760-01855-000	ROSEBEARY, EVERETTE M & CAROL
0	760-01847-000	ARTISTRY HOMES LLC
11	760-01849-000	HAMMONS, RICK A & LINDA D
2	760-01848-000	MENDOZA, ROBERTO C & ISELA
3	760-01859-000	WEBB, JERRY E & BRENDA K; WEBB, KRISTIN E & JAMIE L
4	760-01857-000	VINSON, BRENT E
5	760-01857-001	WEAVER, WILLIAM CARY & SARA ELIZABETH
6	760-01853-002	WILES, SCOT E & BETH A
7	760-01911-000	FIRST BAPTIST CHURCH OF FARMINGTON
8	760-01927-000	FINCHER, GRADY GLEN & MARTHA HUTSON
9	760-01928-001	GRIFFIN SCOTT PRIOR
20	760-01928-000	JOSHUA M & KAYLA A TIVIS
21	760-01940-000	DUSTIN LEE & STACYE LUCCILE STEWART
22	760-01941-000	BETTY ALLEN HUMMEL REVOCABLE TRUST
23	760-01942-000	IAN CHRISTOPHER & MICHELLE MARIE JAMES
24	096-03450-000	CALVIN JAMES & TONIA MARIE RAMAKER
25	096-03450-002	WANDA I MURRAY
26	096-03450-001	MICHAEL D & SANDRA D WILLIAMS
27	001-12283-000	BRADY L & AMY C MEADORS

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RESERVE ON	<b>I RHEAS MIL</b> gton, ar
Key Plan	
No. Description	n Date
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PROJECT NO: ISSUE DATE: mm/dd/yy CONTACT: C. GARDNER	CONSTRUCTION
QC by: QC Date: PRELIMINARY PLANS	To DOCOMENT S
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AR 72704	A-1
AR 72704	A-1
AR 72704	A-1
R 72730	A-1
30	A-1
72730	A-1
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72730	R-1
R 72703	R-1
72730	R-1
2730	R-1
72730	R-1
2730	R-1
R 72703	R-1
OK 74011	RE-1
730	UNZONED
72704	UNZONED



	<u>SYMBOLS</u>
<b>\$</b>	BENCHMARK
$\odot$	FOUND IRON
•	PRIMARY CON
۲	FOUND MONU
AC	AIR CONDITIO
IS ARV	AIR RELEASE
$\boxtimes$	ELECTRIC BO
EB	ELECTRIC JUN
E	ELECTRIC ME
Ø	ELECTRIC TR/
J. FDC	FIRE DEPART
-ÓFH	FIRE HYDRAN
△GM	GAS METER
GV	GAS VALVE
	GUARD POST
÷¢гр	LIGHT POLE
ХРР	POWER POLE
S	SANITARY MA
0 C0	SANITARY SE
<u> </u>	SIGN
$\circledast$	SPRINKLER H
T	TELEPHONE F
	TV PEDESTAL
$\ominus$	WATER FAUC
→ WM	WATER METER
VV IV	WATER VALVE
	DOWN GUY
$\bigcirc$	STORM SEWE
	STORM SEWE

#### <u>SYMBOLS</u>

5 TREE

	SET IRON PIN
*	LIGHT POLE
×.	POWER POLE
	TELEPHONE PEDESTAL
	TV PEDESTAL
$\odot$	MANHOLE
0	SANITARY SEWER CLEANOUT
	GAS METER
M	GAS VALVE
	STORM SEWER PIPE
$\overline{(X-X)}$	STRUCTURE NUMBER
M	WATER VALVE
- <b>♦</b> ▶ <b>-</b>	FIRE HYDRANT ASSEMBLY
101	AIR RELEASE VALVE
*	FIRE DEPARTMENT CONNECTION
۲	WATER METER
	BACK FLOW PREVENTER
<b></b>	REDUCER
	RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)
$\textcircled{\bullet}$	CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN

SHEET)

### **UTILITY NOTES**

- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON 1. THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES WITHIN THE WORK ZONE.
- 2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS 72 9. HOURS BEFORE CONNECTING TO ANY EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE AND SCHEDULE TIE-INS/CONNECTIONS WITH ALL UTILITY COMPANIES.
- 3. ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
- 4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY COMPANIES SHALL BE PERFORMED PRIOR TO 11. ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- 5. GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY 13. ALL MATERIALS, CONSTRUCTION, AND INSPECTION FOR WATER AND COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.
- 6. THRUST BLOCKING SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE 14. HYDRANTS. 7. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- 8. MINIMUM HORIZONTAL SEPARATION BETWEEN WATERLINES AND SANITARY/STORM SEWERS SHALL BE AT LEAST TEN FEET. WHERE WATERLINES CROSS SANITARY/STORM SEWERS THE WATERLINE SHALL BE PLACED ABOVE THE SEWER WITH A MINIMUM VERTICAL SEPARATION, OUTSIDE-TO-OUTSIDE, OF 18". IF IT IS NOT POSSIBLE TO CONFORM TO THESE DIMENSIONS OR DEFINED PLACEMENT, THE WATERLINE SHALL BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE ALL MATERIAL AND 16. LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE LOCAL AND/OR STATE AGENCIES. 10. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND MANHOLES IN UNPAVED AREAS TO BE 1" ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL REGULATIONS. 12. REFER TO BUILDING PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN. SANITARY SEWER LINES SHALL BE PER THE SPECIFICATIONS OF THE APPROPRIATE AGENCY.
- THE CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND THE WATER COMPANY TO PLAN PROPOSED IMPROVEMENTS TO THE WATER MAINS AND TO ENSURE ADEQUATE FIRE PROTECTION IS

	(EXISTING SYMBOLS)
--	--------------------

#### <u>LINEWORK</u>

PE/REBAR	EASEMENT	
ROL/SET MONUMENT ENT/ROW	======================================	
R	INTERMEDIATE CONTOUR	
PEDESTAL		
TION BOX R	SANITARY SEWER LINE (SPECIFY SIZE & TYPE)	
SFORMER	GAS LINE	
NT CONNECTION	WATER LINE (SPECIFY SIZE & TYPE)	
	UNDERGROUND TELEPHONE	
	UDERGROUND ELECTRIC	
	OVERHEAD ELECTRIC	-₩
HOLE	UNDERGROUND TELEVISION	
R CLEANOUT	OVERHEAD TELEVISION	— OHTV ———
D DESTAL	CHAIN LINK FENCE	
	WOOD FENCE	
	BARBED WIRE FENCE	—X ———
	FIBER OPTIC FO	FO
MANHOLE	RIGHT OF WAY	
PIPE	ROAD CENTERLINE	



### 🚱 LEGEND (CONSTRUC

#### <u>LINEWORK</u>

CURB			
INTERMEDIATE CONTOUR			
INDEX CONTOUR		-1205	
SANITARY SEWER LINE			
GAS LINE	— G —		
WATER LINE	— w —		
UNDERGROUND TELEPHONE			
UGE UGE UGE UDERGROUND ELECTRIC			
OVERHEAD ELECTRIC			
Fiber optic			
UNDERGROUND TELEVISION			
CHAIN LINK FENCE			
WOOD FENCE			
BARBED WIRE FENCE	—X —		——————————————————————————————————————
BUILDING SET BACK			
RIGHT OF WAY			

ROAD CENTERLINE

15.

17.

18.

CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THE PROJECT. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE WATER COMPANY DURING CONSTRUCTION. ALL COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR; NO ADDITIONAL COMPENSATION WILL BE PROVIDED.

DAMAGE TO ALL EXISTING FACILITIES DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED AS WELL AS COSTS OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.

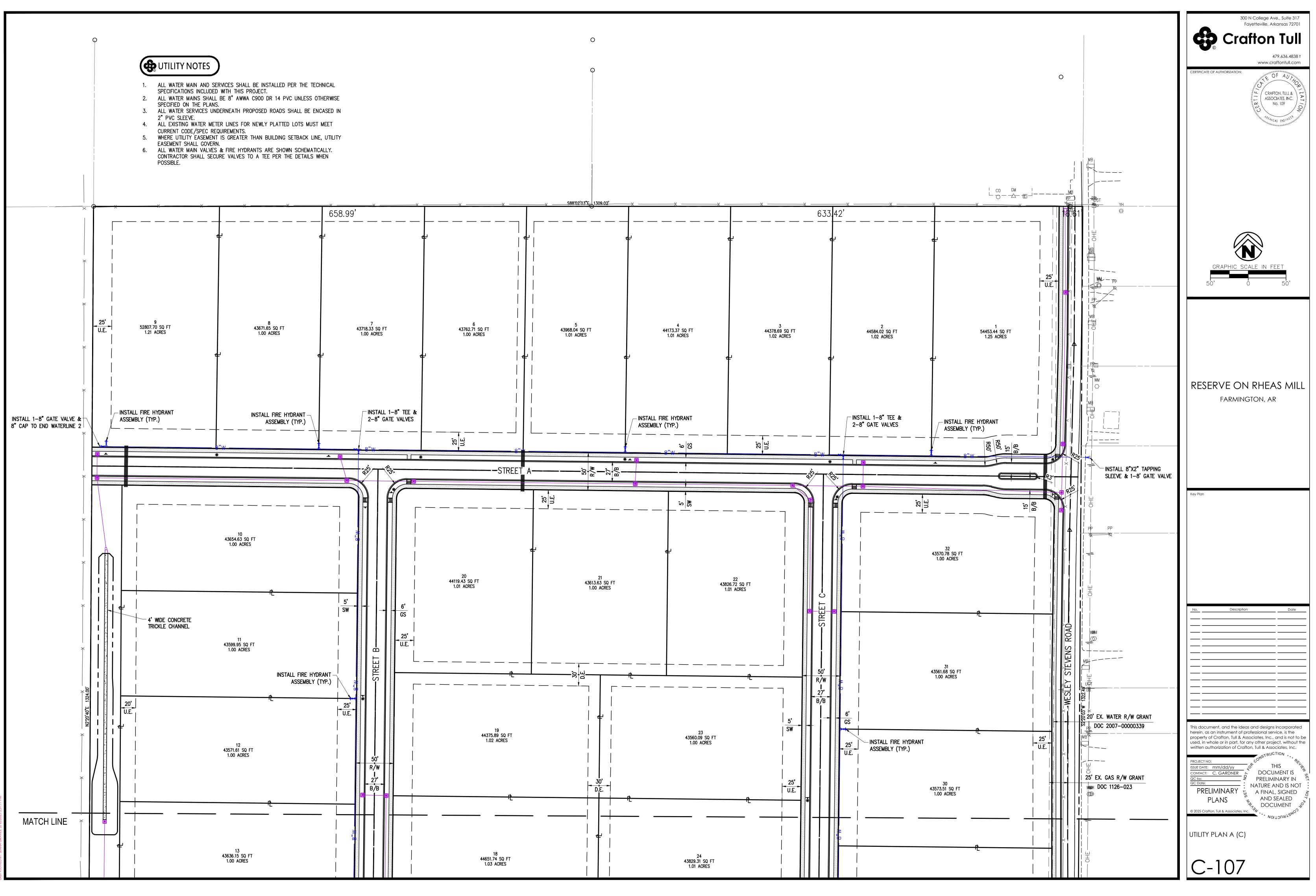
GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUITS AS SHOWN ON THE PLANS, VERIFY LOCATION OF UTILITY TIE-INS, AND PROVIDE NYLON PULL CORDS INSIDE THE CONDUIT.

19. THE CONTRACTOR SHALL INCLUDE IN BID PRICE THE DAILY RECORD KEEPING OF THE RECORD CONDITION OF ALL OF THE UNDERGROUND

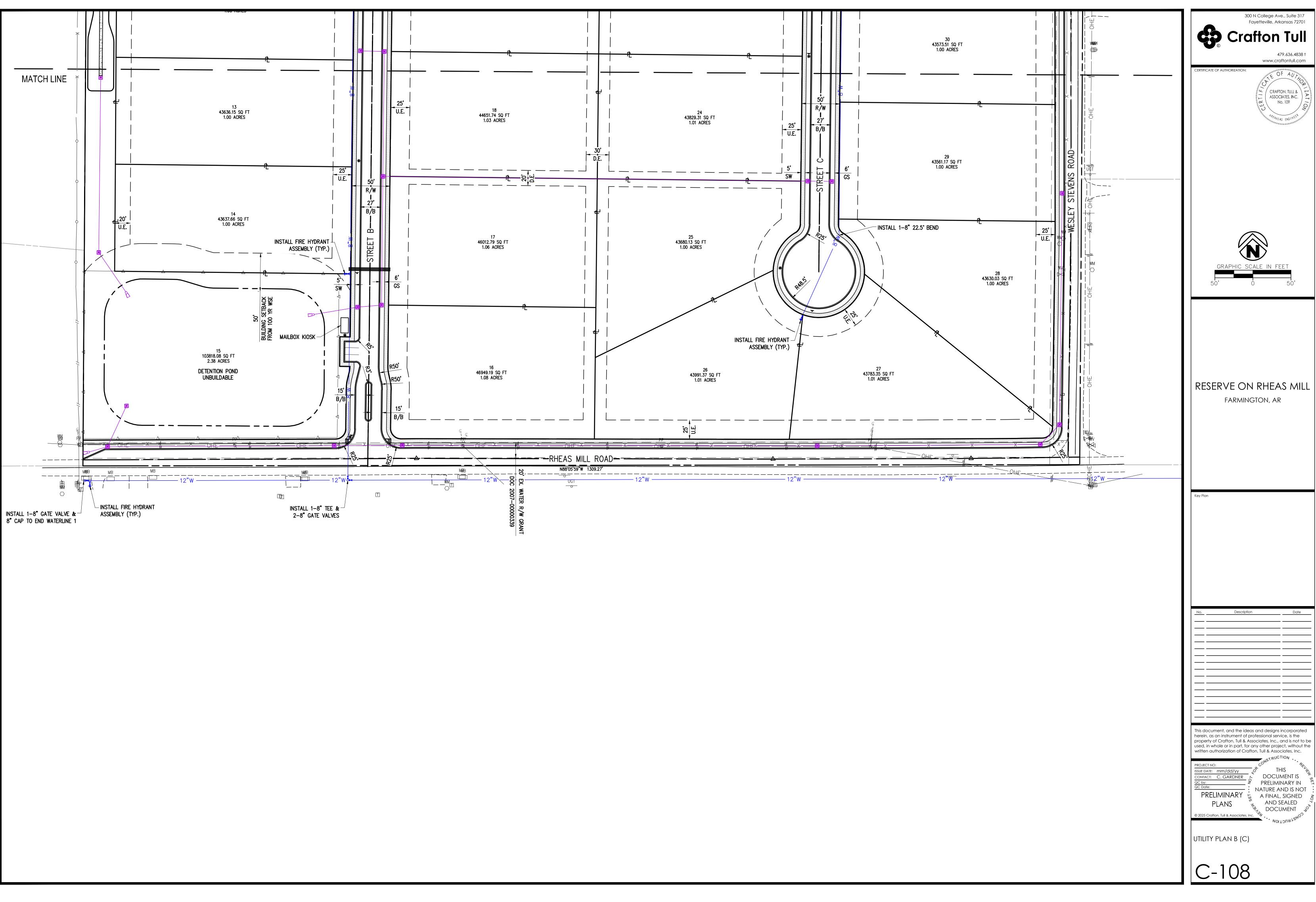
UTILITIES, CONSTRUCTION STAKE-OUT, PREPARATION OF THE NECESSARY/REQUIRED WATER AND SEWER RECORD DRAWINGS TO BE SUBMITTED, AND ALL OTHER INFORMATION REQUIRED FOR OBTAINING PERMITS AND RELEASE OF BONDS.

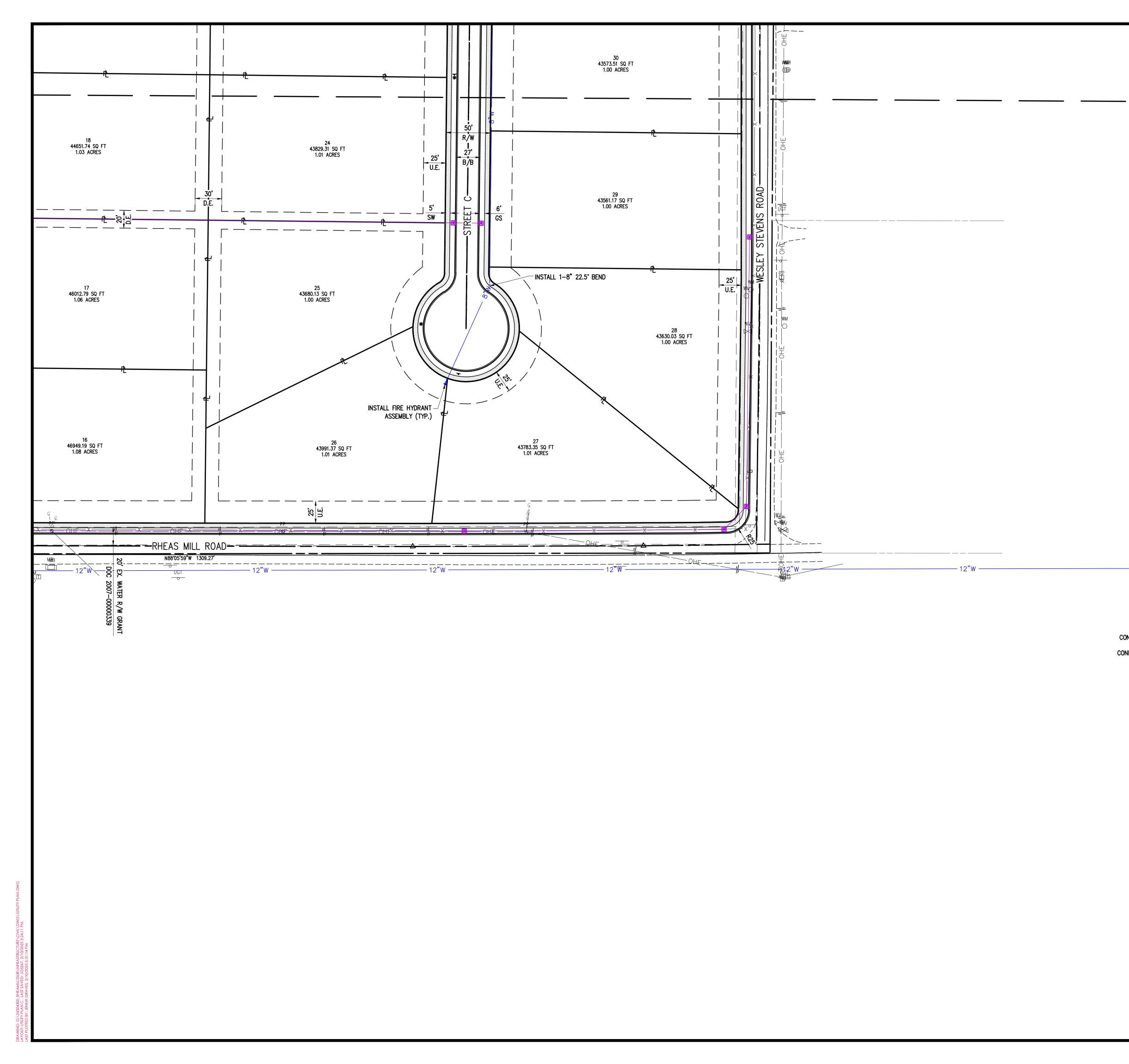
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<b>Crafton Tull</b>
479.636.4838 t www.craftontull.com
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THE ANSAS ENGINEER
GRAPHIC SCALE IN FEET
100' 0 100'
RESERVE ON RHEAS MILL
FARMINGTON, AR
Key Plan
No. Description Date
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OVERALL UTILITY PLAN (C)

C-106

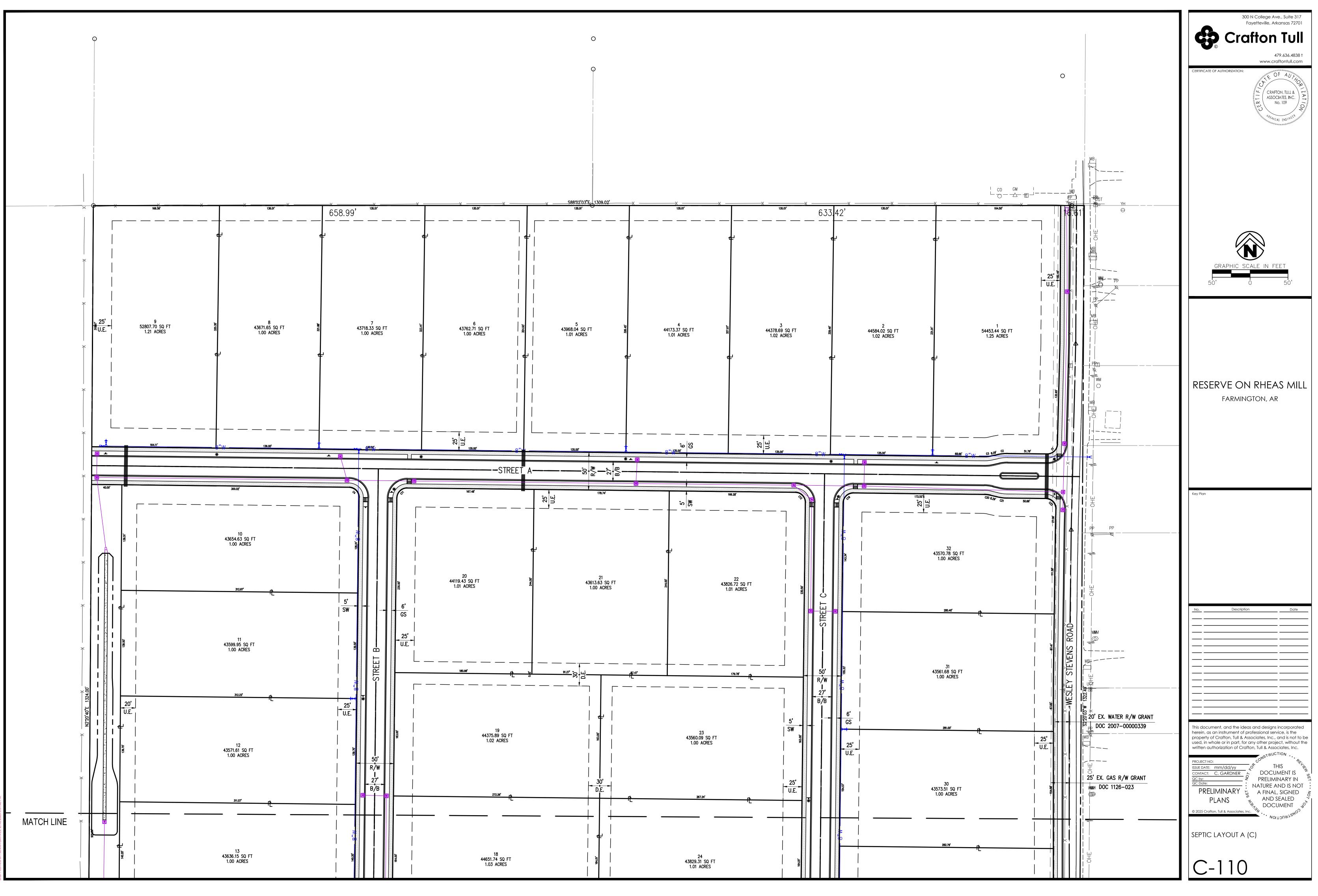


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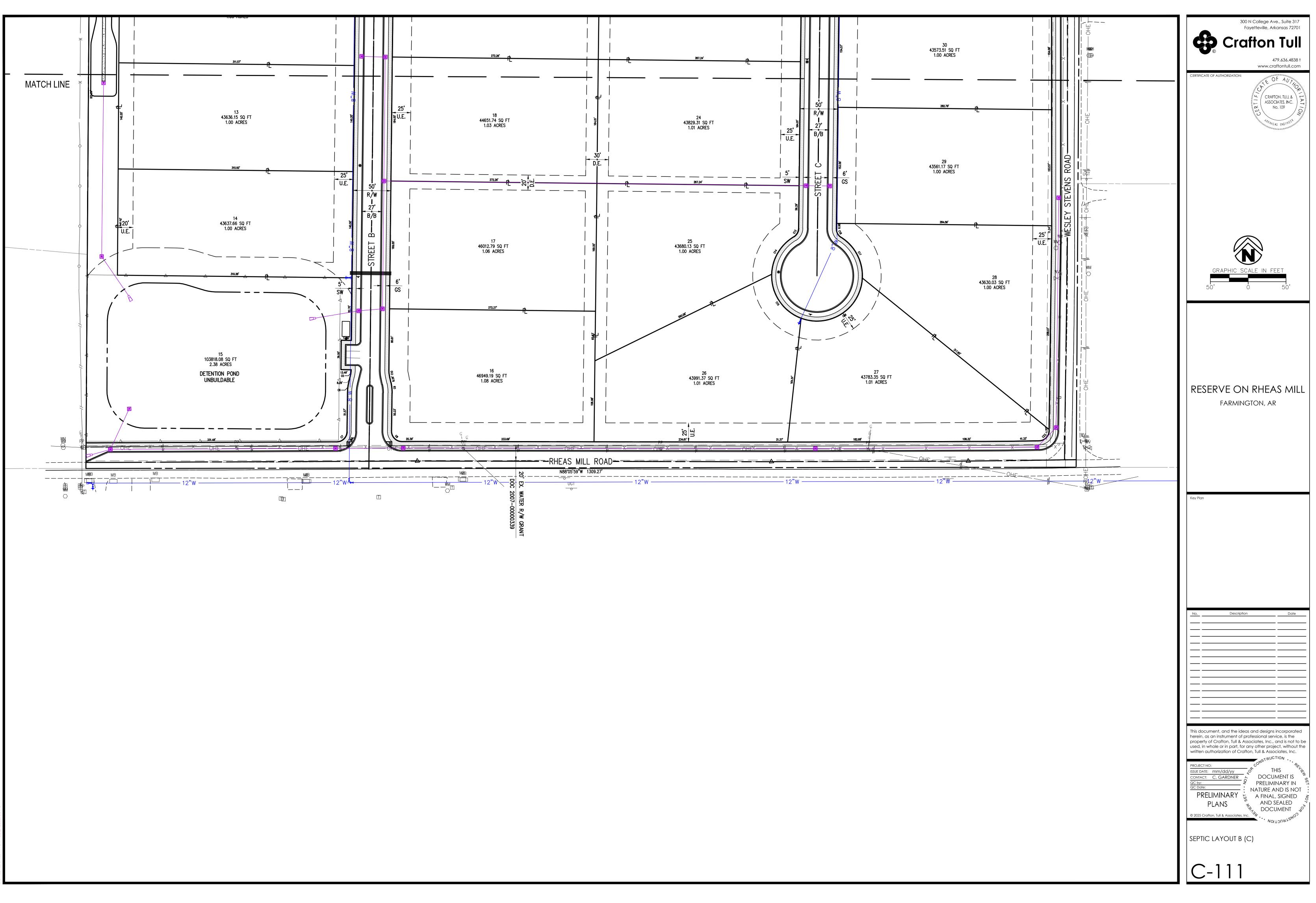


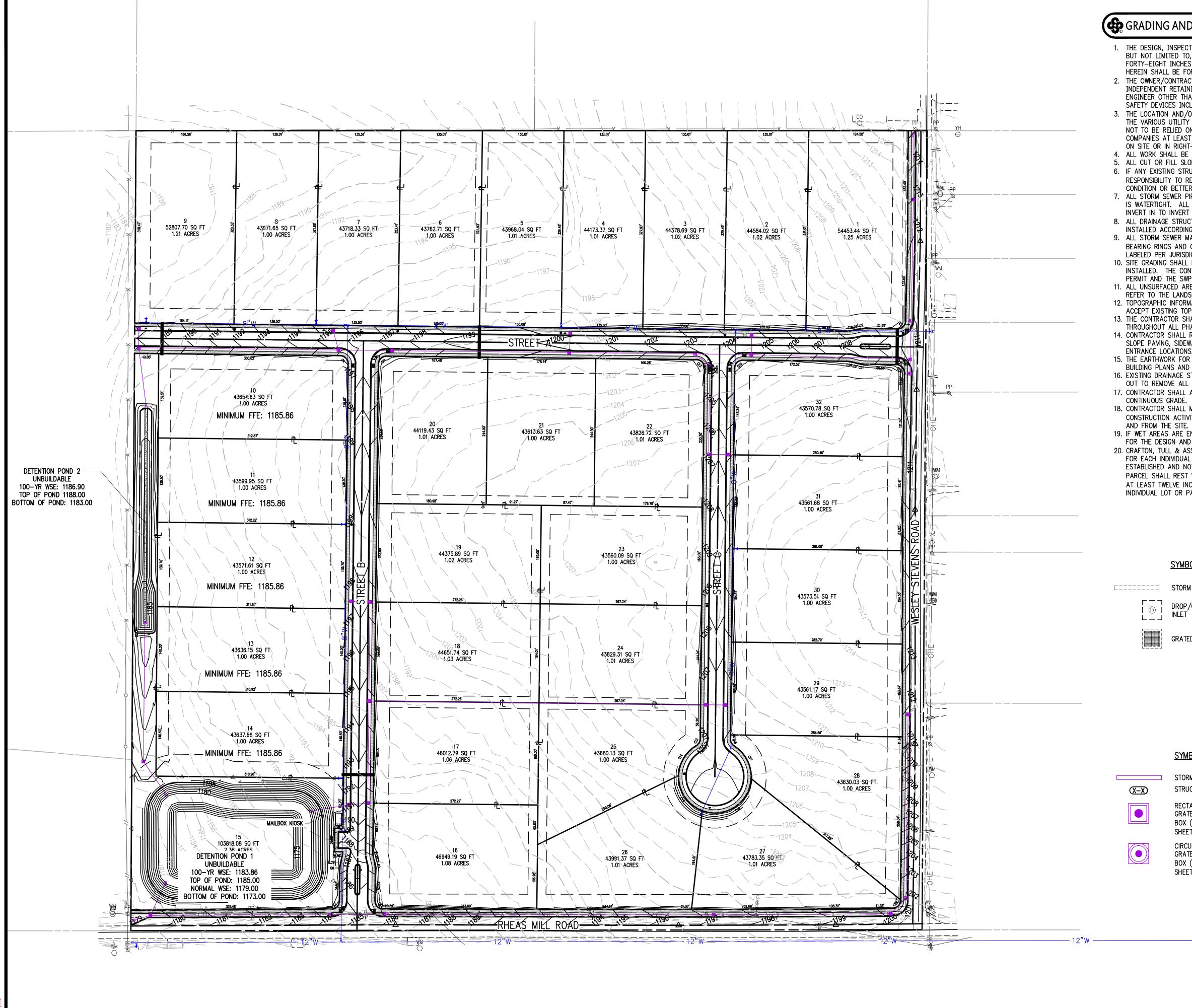


	300 N College Ave., Suite 317 Fayetteville, Arkansas 72701 <b>Crafton Tull</b> 479.636.4838 t www.craftontull.com
MATCH LINE	CERTIFICATE OF AUTHORIZATION:
	GRAPHIC SCALE IN FEET
	RESERVE ON RHEAS MILL Farmington, ar
ON TRACTOR TO VERIFY LOCATION OF EXISTING FIRE HYDRANT & DNNECT PROPOSED 8" WATERLINE TO EXISTING FIRE HYDRANT.	Key Plan
	No.         Description         Date
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	UTILITY PLAN C (C)

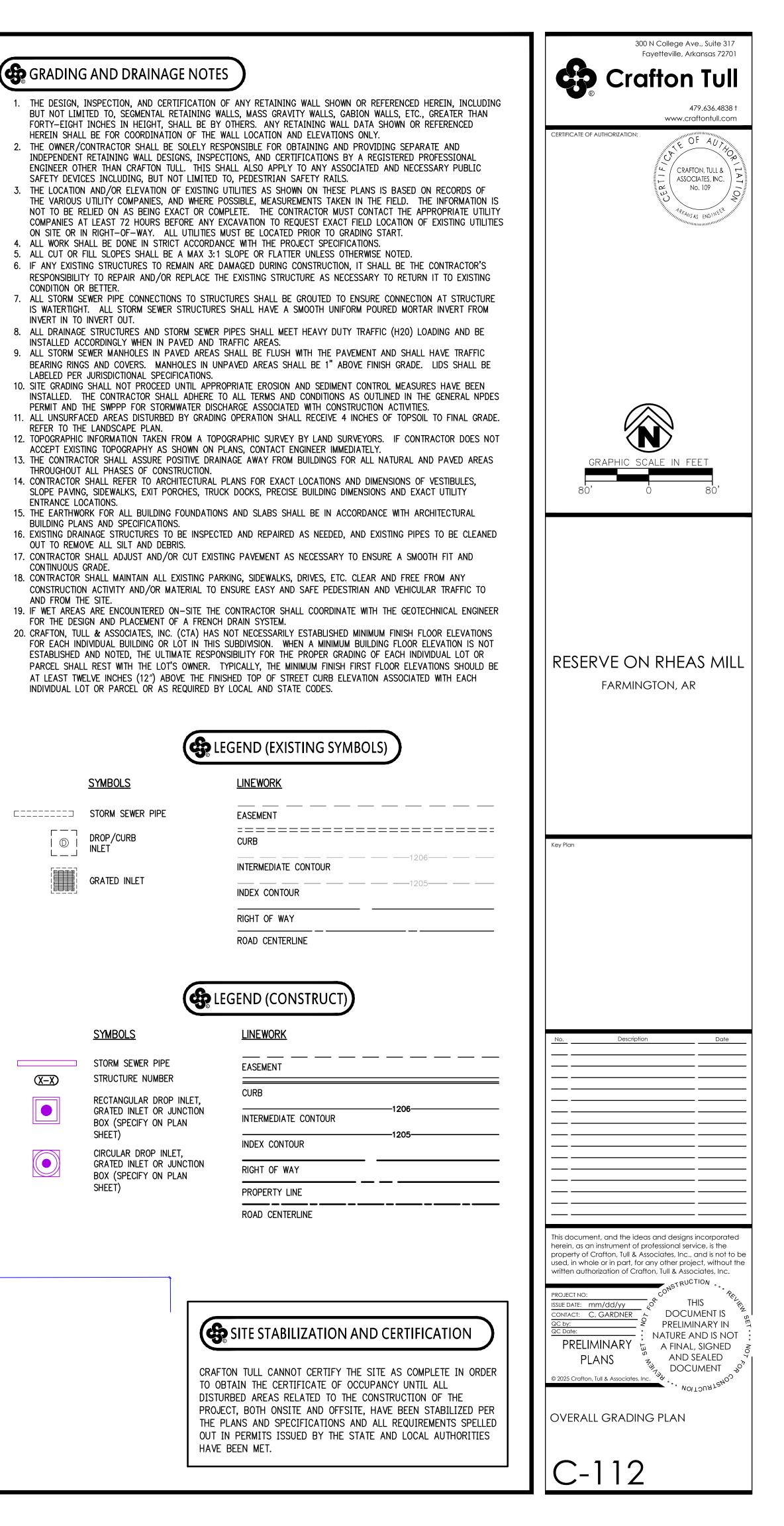


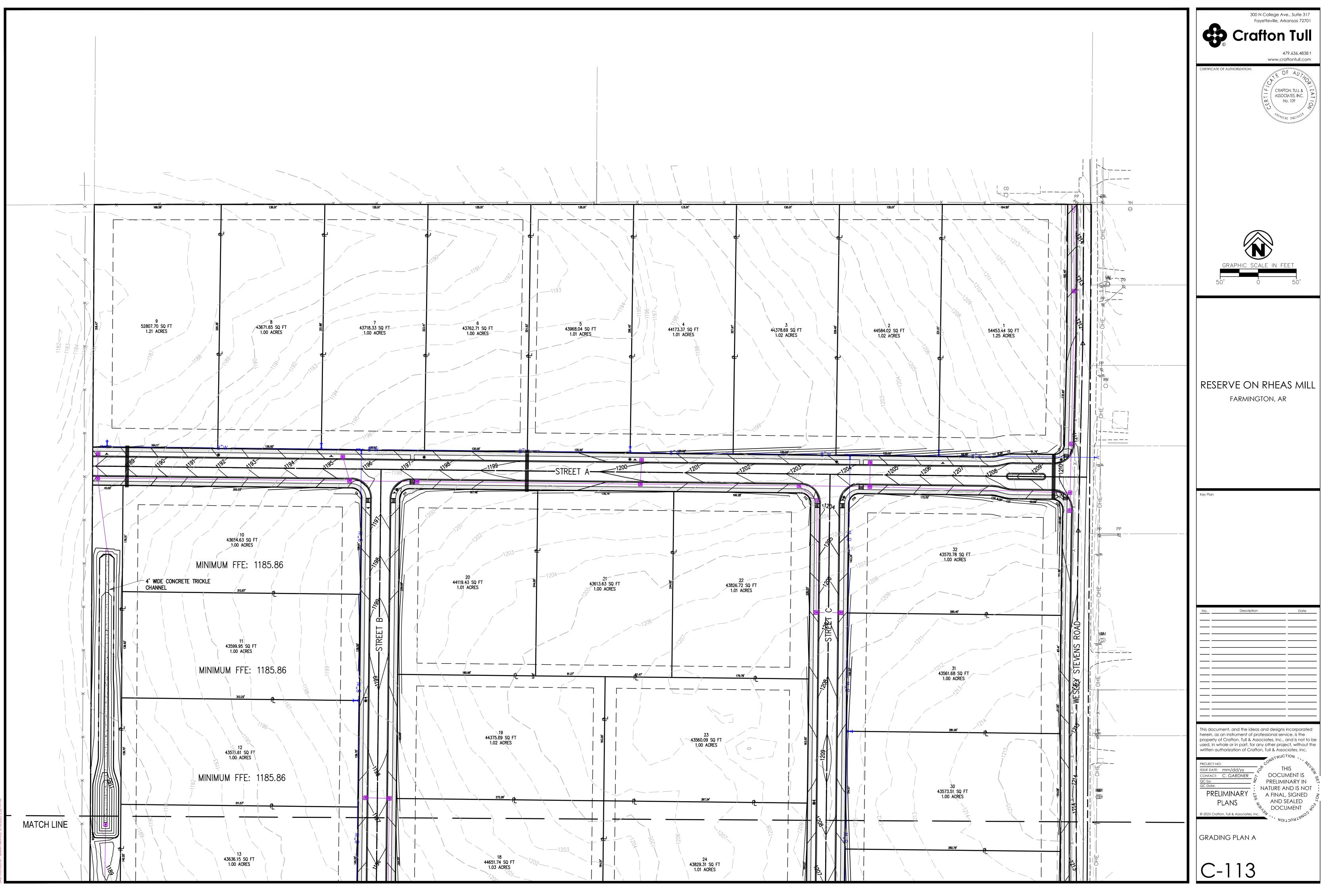
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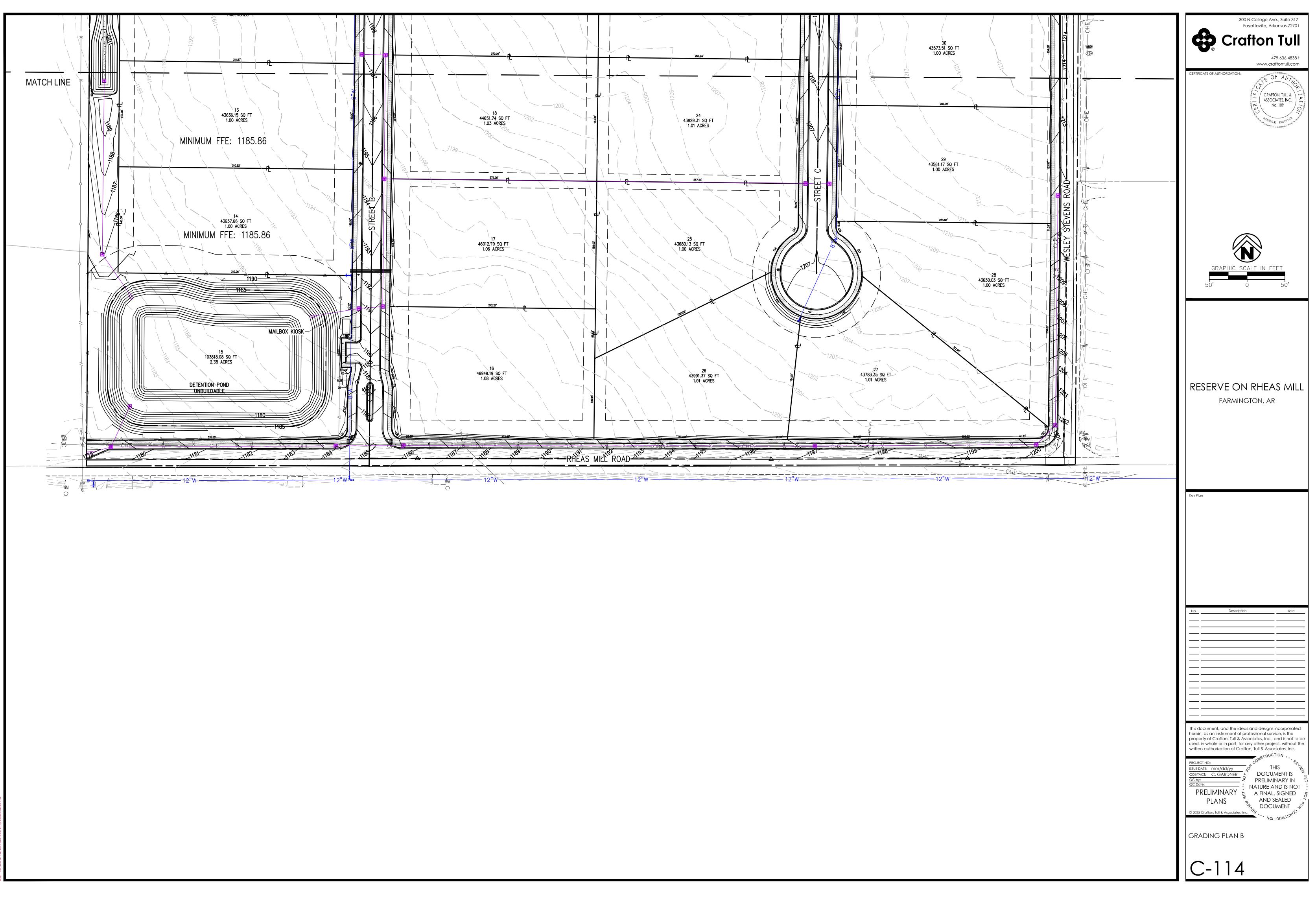


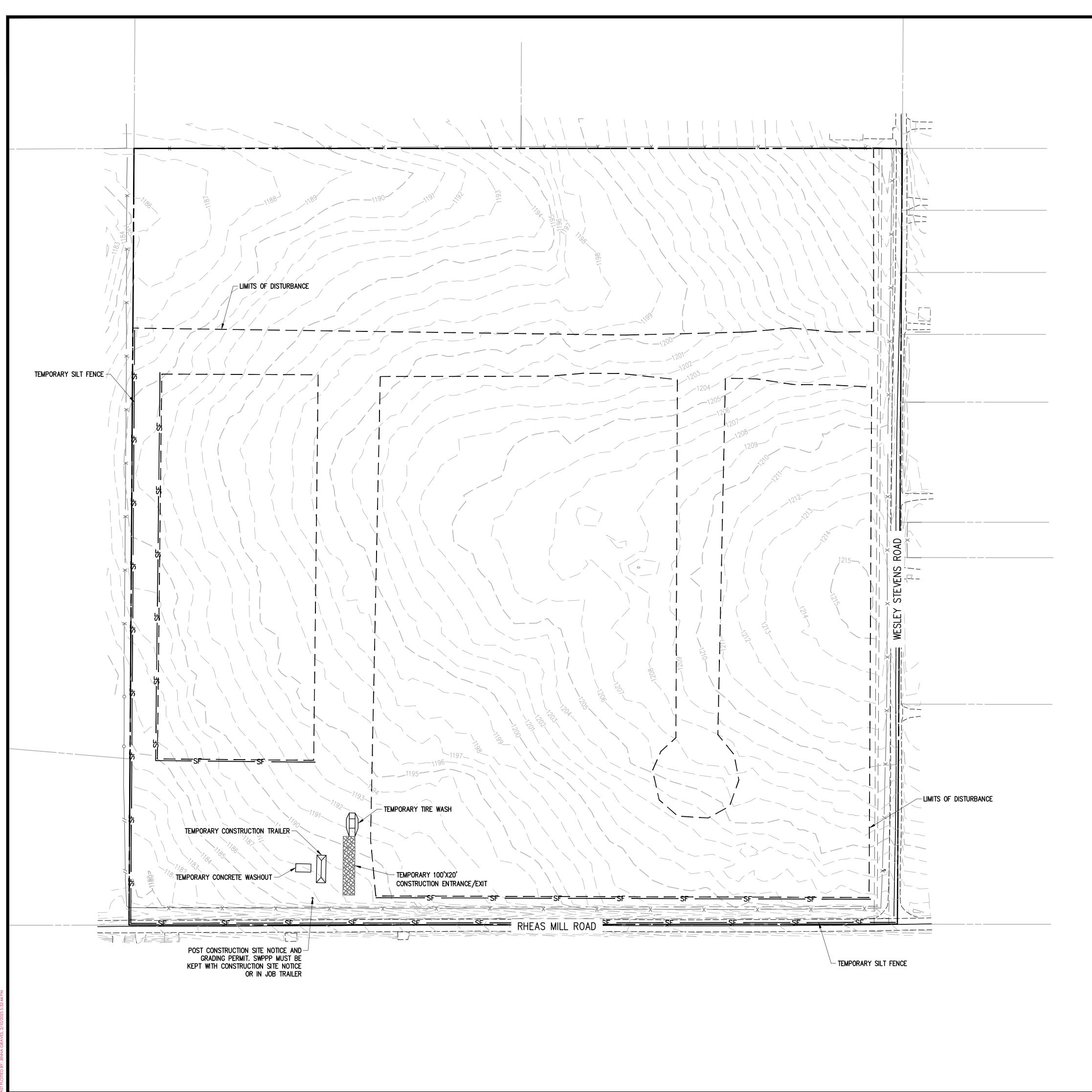
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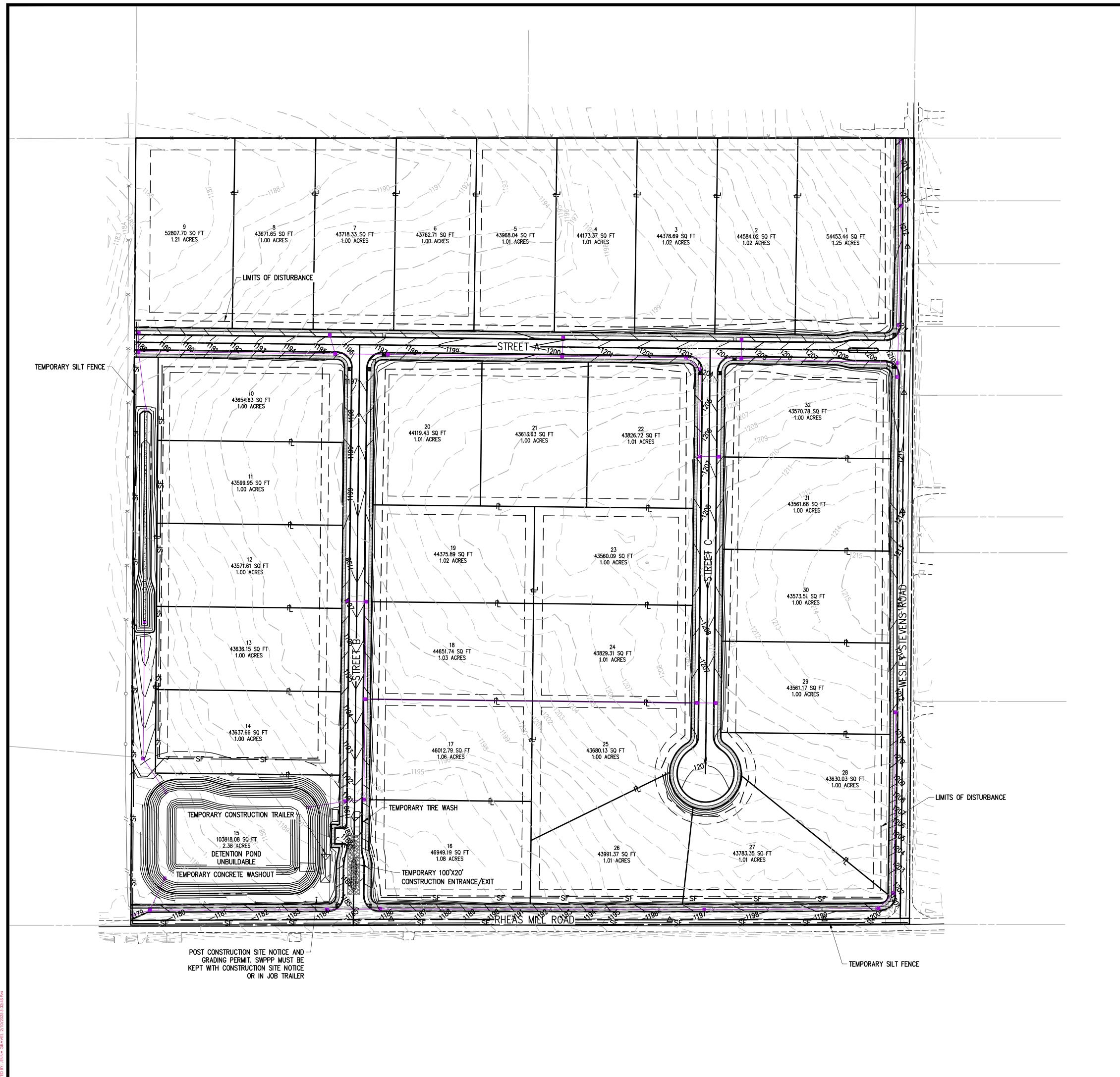
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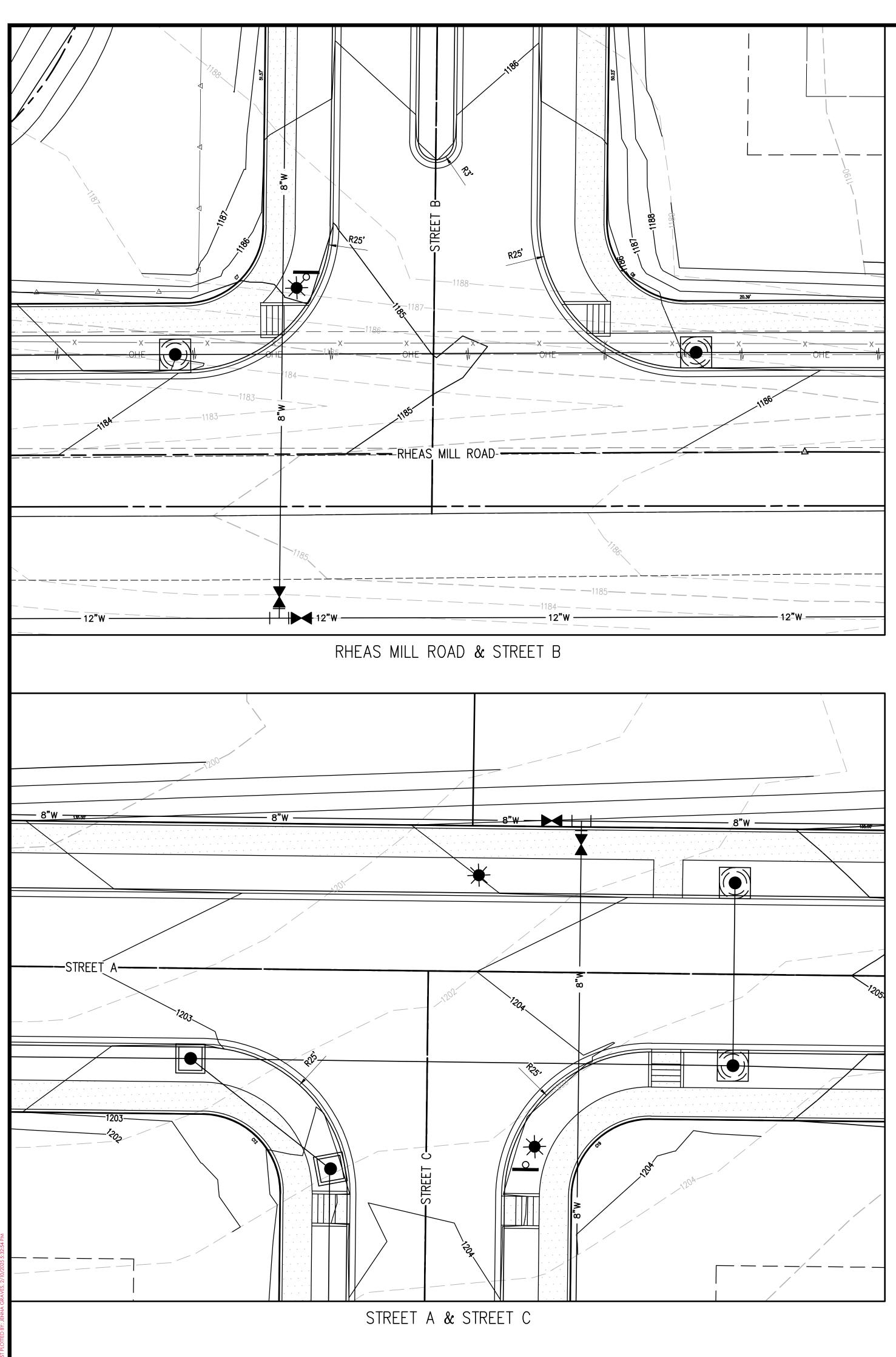


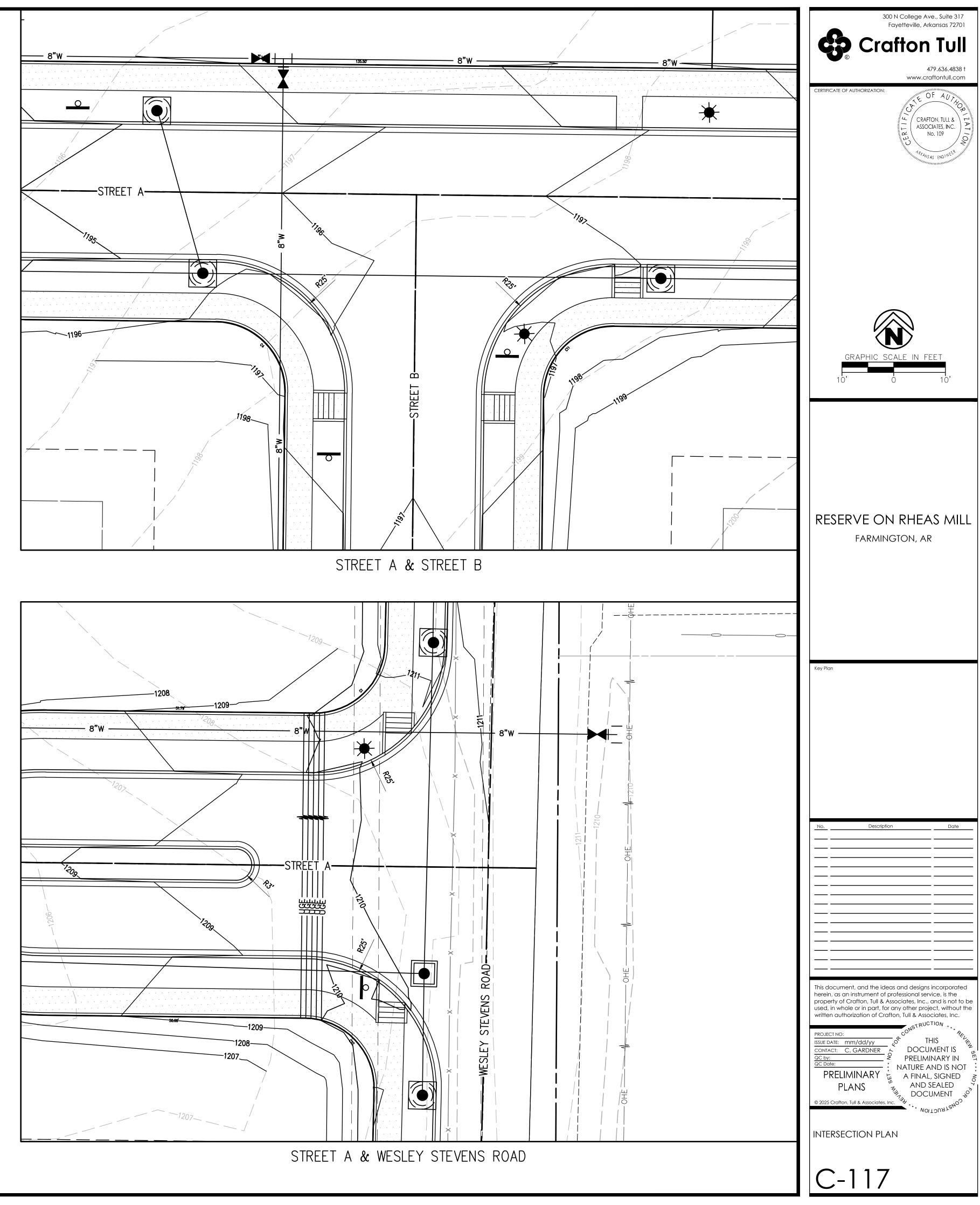
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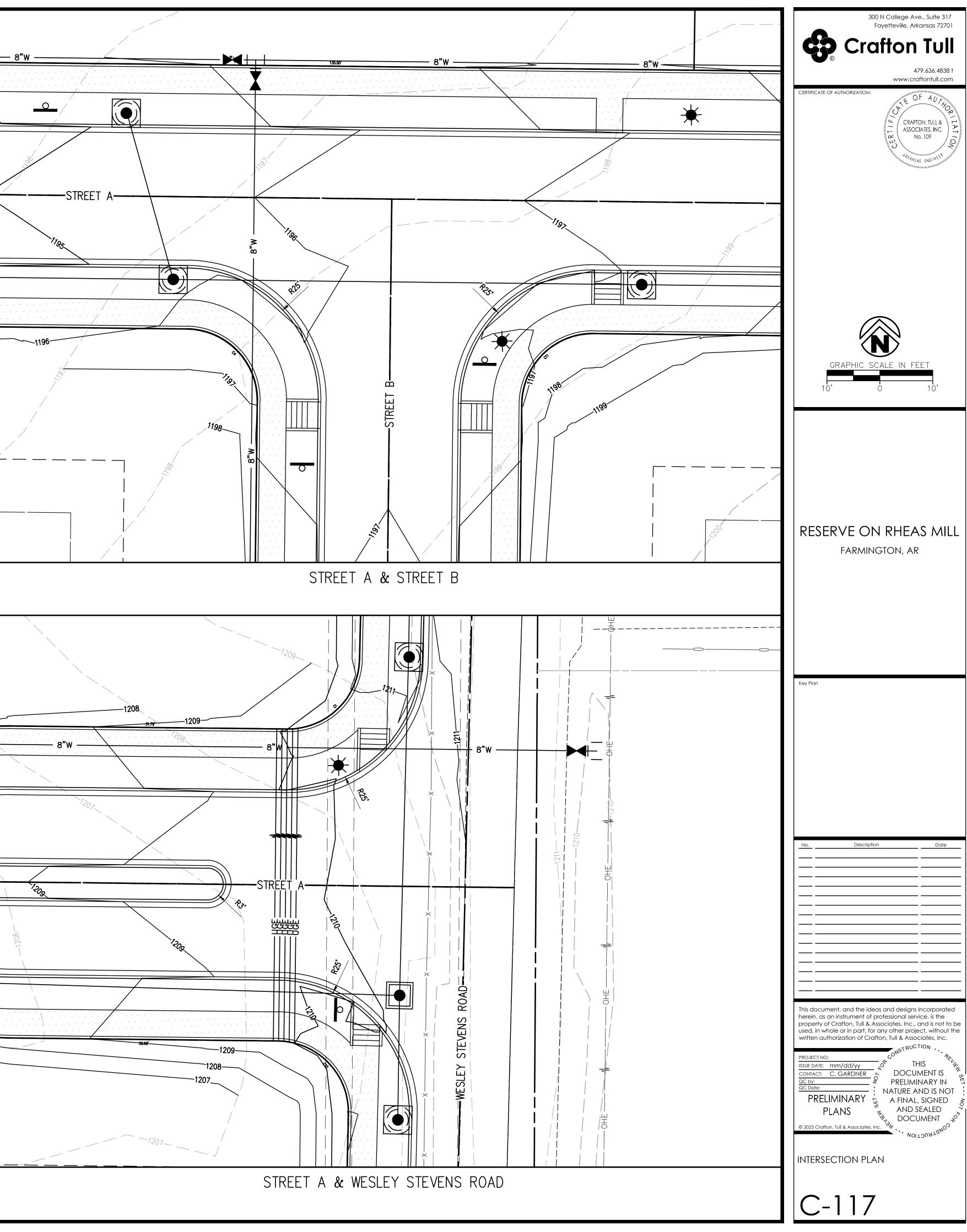
_		Fayetteville, Arkansas 72701
El Constant	ROSION CONTROL	479.636.4838 t www.craftontull.com
	_ SITE AREA: 38.94 AC. (1,696,226.4 SQ.FT.) _ DISTURBED AREA: 38.94 AC. (1,696,226.4 SQ.FT.)	CERTIFICATE OF AUTHORIZATION:
	EROSION CONTROL LEGEND	ASSOCIATES, INC. No. 109
PS F	PERMANENT SEEDING	ASSOCIATES, INC. No. 109
TPS T	TEMPORARY PARKING AND STORAGE	
R L G C	BOUNDARY LINE RIGHT OF WAY LINE LIMITS OF DISTURBANCE GRADE BREAK CONTOUR ELEVATIONS	
	STORM DRAIN DIRECTION OF OVERLAND FLOW W/ GRADE	
L	IMITS OF DRAINAGE SUB-BASIN	
OP1	TEMPORARY RIP RAP SLOPE PROTECTION SEE SIZE THIS SHEET)	
	EMPORARY PERMANENT EROSION CONTROL LINING	GRAPHIC SCALE IN FEET
SB T	EMPORARY SEDIMENT BASIN	80' 0 80'
	EMPORARY ROCK CHECK DAM	
	EMPORARY STABILIZED CONSTRUCTION EXIT (ENTRANCE)	
	EMPORARY DEWATERING SYSTEM / STRUCTURE	
SF T	EMPORARY SILT FENCE	
ST T	EMPORARY SEDIMENT BASIN WITH STONE OUTLET	
	EMPORARY BLOCK AND AGGREGATE INLET SEDIMENT DEVICE	RESERVE ON RHEAS MIL
	EMPORARY CURB INLET FILTER SOCK	FARMINGTON, AR
	EMPORARY SILT FENCE INLET PROTECTION	
	NOTE: SEE SITE PLAN FOR EXISTING LEGEND SYMBOLS	
		Key Plan
		No. Description Date
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	SITE STABILIZATION AND CERTIFICATION	QC by:     PRELIMINARY IN       QC Date:     NATURE AND IS NO
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	DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER	
	THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES	EROSION CONTROL PLAN PH I
	HAVE BEEN MET.	
		C-115



6		300 N College Ave., Suite 317 Fayetteville, Arkansas 72701
	EROSION CONTROL	479.636.4838 t www.craftontull.com
	TAL SITE AREA: 38.94 AC. (1,696,226.4 SQ.FT.) TAL DISTURBED AREA: 38.94 AC. (1,696,226.4 SQ.FT.)	CERTIFICATE OF AUTHORIZATION: CRAFTON, TULL & ASSOCIATES, INC. No. 109
$\sim$ $-$	EROSION CONTROL LEGEND	CRAFTON, TULL & ASSOCIATES, INC. No. 109
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	TEMPORARY PARKING AND STORAGE	
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XX.X%	DIRECTION OF OVERLAND FLOW W/ GRADE	
$\leftarrow$	LIMITS OF DRAINAGE SUB-BASIN	
OP1	TEMPORARY RIP RAP SLOPE PROTECTION (SEE SIZE THIS SHEET)	
ECL	TEMPORARY PERMANENT EROSION CONTROL LINING	GRAPHIC SCALE IN FEET
SB SB	TEMPORARY SEDIMENT BASIN	80' 0 80'
	TEMPORARY ROCK CHECK DAM TEMPORARY STABILIZED CONSTRUCTION EXIT (ENTRANCE)	
DD	TEMPORARY CHANNELED DIVERSIONS	
DS	TEMPORARY DEWATERING SYSTEM / STRUCTURE	
	TEMPORARY SEDIMENT BASIN WITH STONE OUTLET	
Ø IP1	TEMPORARY BLOCK AND AGGREGATE INLET SEDIMENT DEVICE	
ØIP2	TEMPORARY CURB INLET FILTER SOCK	RESERVE ON RHEAS MILL
∅IP3	TEMPORARY GRATED INLET GRAVEL SEDIMENT FILTER TEMPORARY SILT FENCE INLET PROTECTION	FARMINGTON, AR
	NOTE: SEE SITE PLAN FOR	
	EXISTING LEGEND SYMBOLS	
		Key Plan
		<u>No.</u> <u>Description</u> <u>Date</u>
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		ISSUE DATE: mm/dd/yy of THIS THIS CONTACT: C. GARDNER & DOCUMENT IS
	SITE STABILIZATION AND CERTIFICATION	GC Date:       NATURE AND IS NOT         PRELIMINARY       A FINAL, SIGNED
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	TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER	NOITOUATA,
	THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES	EROSION CONTROL PLAN PH II
	HAVE BEEN MET.	
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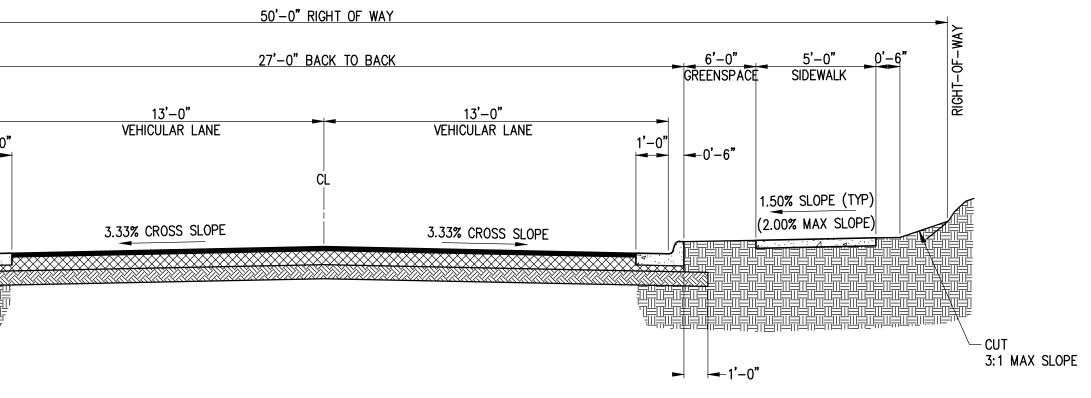






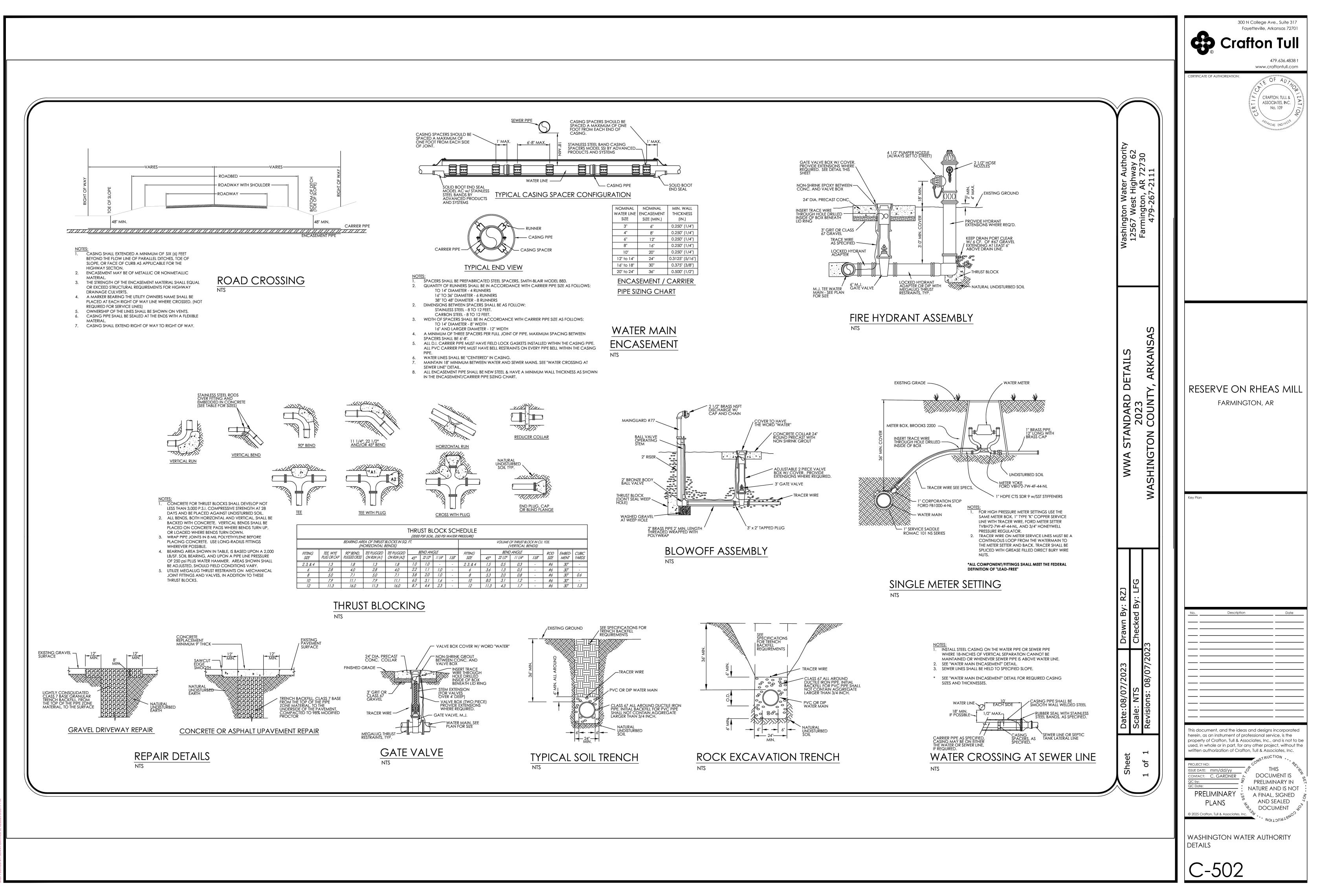
 $\begin{array}{c} 0^{\prime}-6^{\prime\prime} & 5^{\prime}-0^{\prime\prime} & 6^{\prime}-0^{\prime\prime} \\ \hline & SIDEWALK & GREENSPACE \\ 0^{\prime}-6^{\prime\prime} & 1.50\% & SLOPE (TYP) \\ \hline & (2.00\% & MAX & SLOPE) \\ \hline & & & & & & & \\ 3:1 & MAX & SLOPE \\ \end{array}$ 

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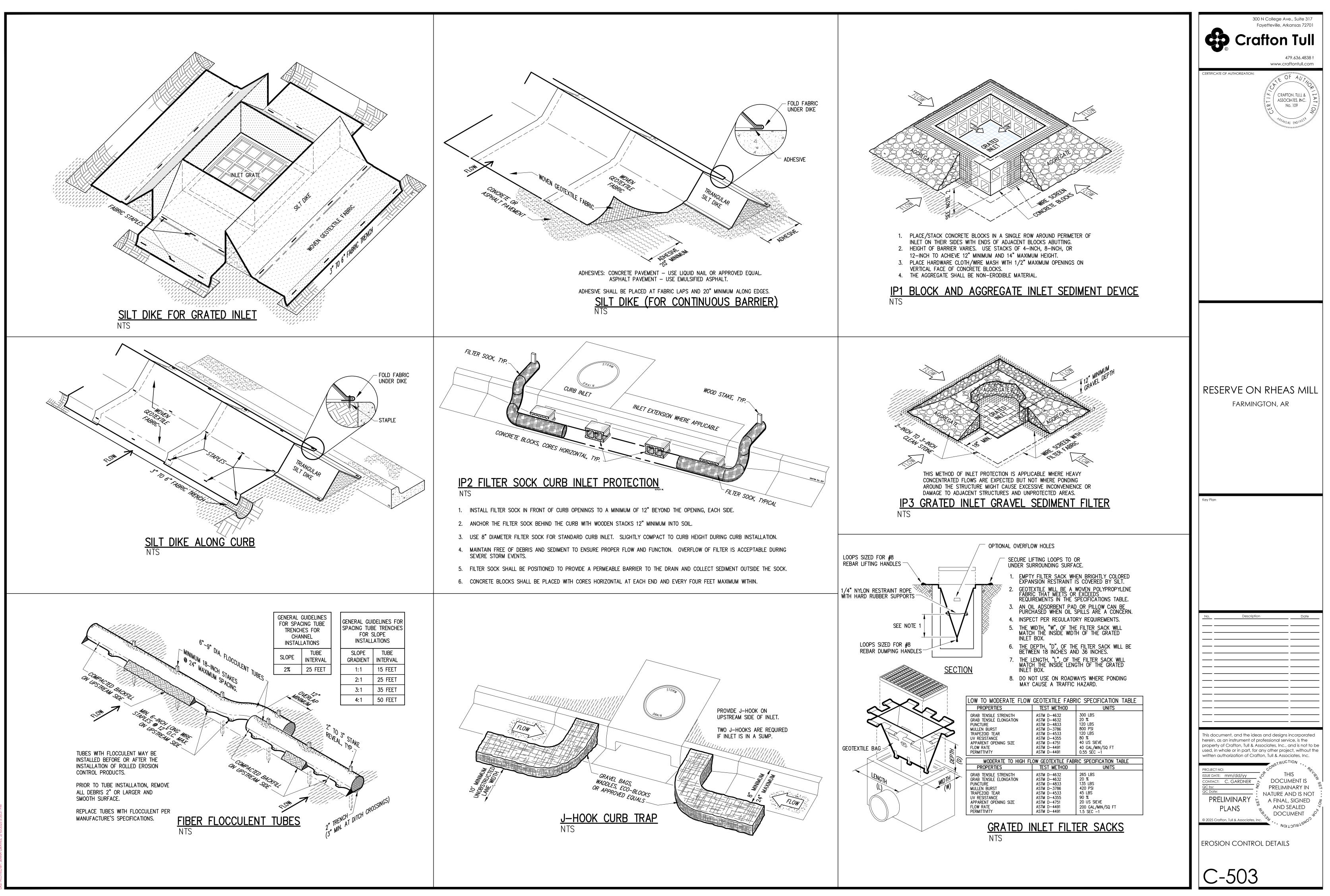


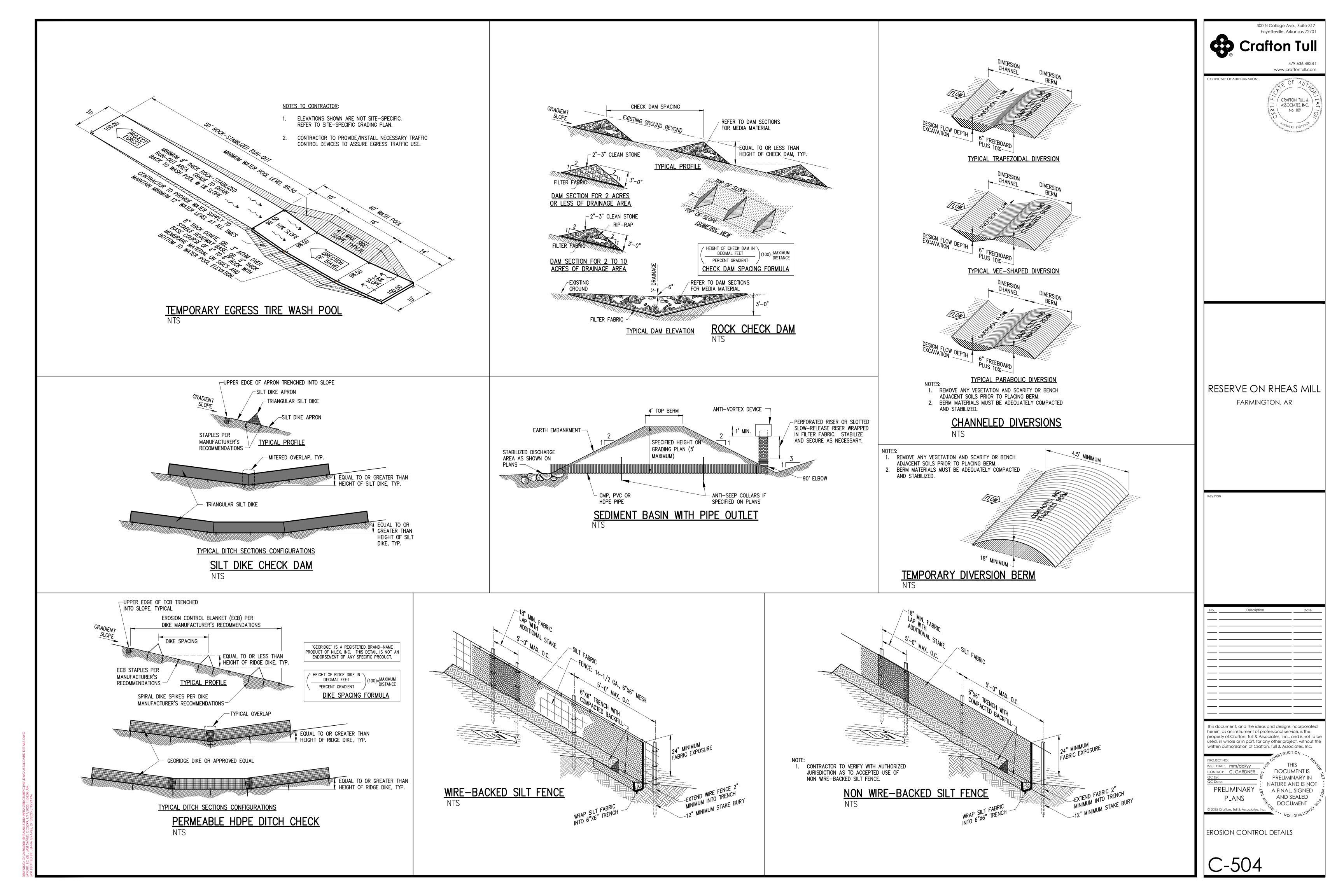
### TYPICAL LOCAL STREET SECTION NTS

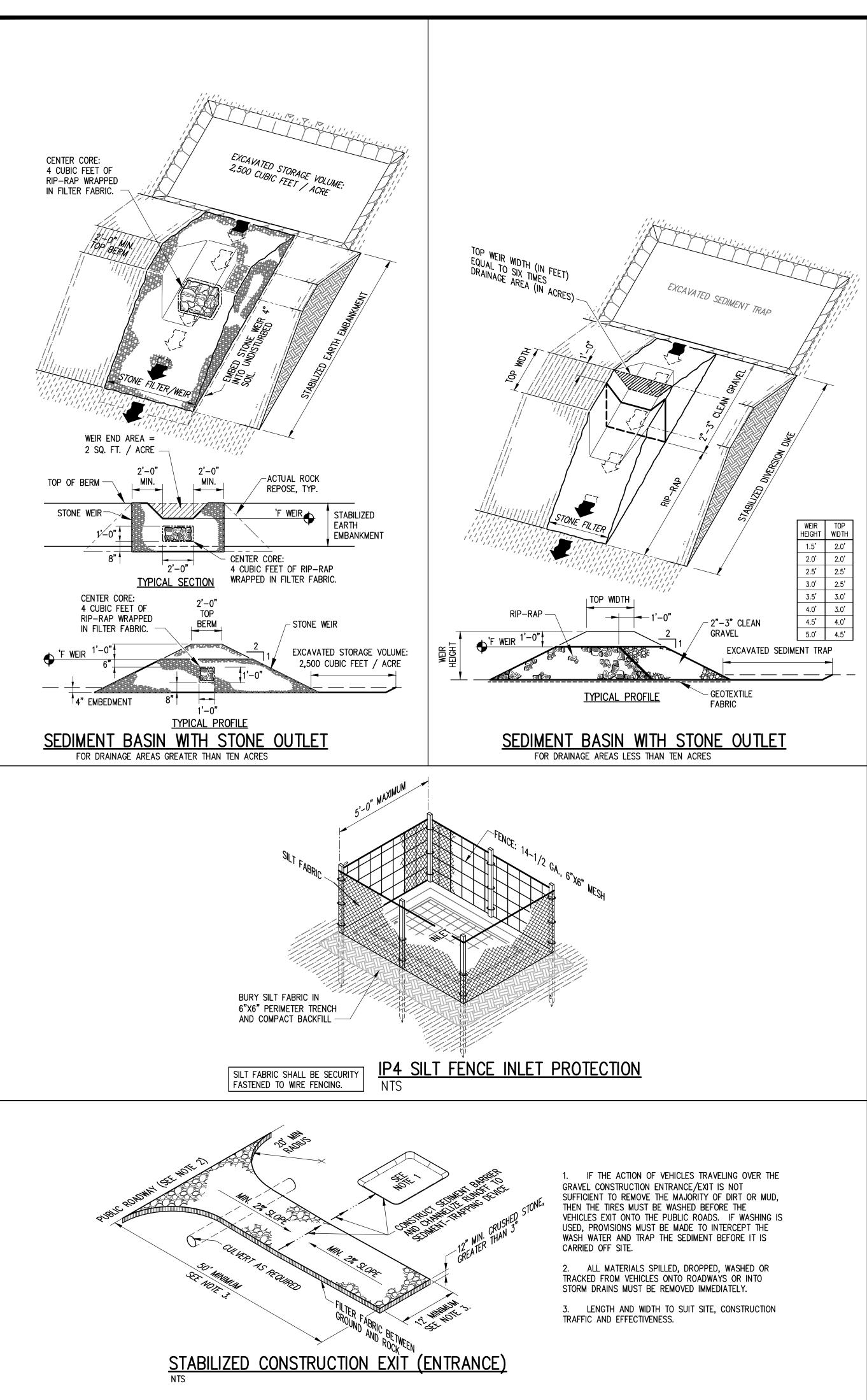
300 N College Ave., Suite 317 Fayetteville, Arkansas 72701
<b>Crafton Tull</b>
479.636.4838 t www.craftontull.com
CERTIFICATE OF AUTHORIZATION:
THE APRANSAS ENGINEER UNIT
RESERVE ON RHEAS MILL
FARMINGTON, AR
Key Plan
No. Description Date
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#### PHASE I

- INSTALL STABILIZED CONSTRUCTION ENTRANCES/EXITS.
- PREPARE TEMPORARY PARKING AND STORAGE AREAS. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASH-OUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- CONSTRUCT THE SILT FENCES ON THE SITE.
- CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEER CONSULTANT TO PERFORM INSPECTION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- CLEAR AND GRUB THE SITE. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- BEGIN GRADING THE SITE.

PHASE I

- TEMPORARILY SEED DENUDED AREAS. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL RIP-RAP AROUND OUT STRUCTURES.
- INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES. PREPARE SITE FOR PAVING.
- D. PAVE SITE.
- INSTALL INLET PROTECTION DEVICES. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- 9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IF SITE IS STABILIZED.

#### **GENERAL EROSION NOTES:**

A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING (SITE MAP), THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS SECTION 312800 (EROSION AND SEDIMENTATION CONTROL), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

BEST MANAGEMENT PRACTICES (BMP) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AND APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.

E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON THE SITE AT ALL TIMES.

CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

GENERAL CONTRACTOR SHALL DENOTE THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, AND AREA FOR PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES.

ALL WASH WATER (CONCRETE TRUCKS, VEHICLE AND EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.

DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM BEING BLOWN OR WASHED OFF-SITE.

ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN AND SWPPP SHALL BE INITIATED AS SOON AS POSSIBLE.

M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS SHALL BE TEMPORARY SEEDED.

N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.

0. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE.

ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

R. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH THE GENERAL PERMIT.

SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

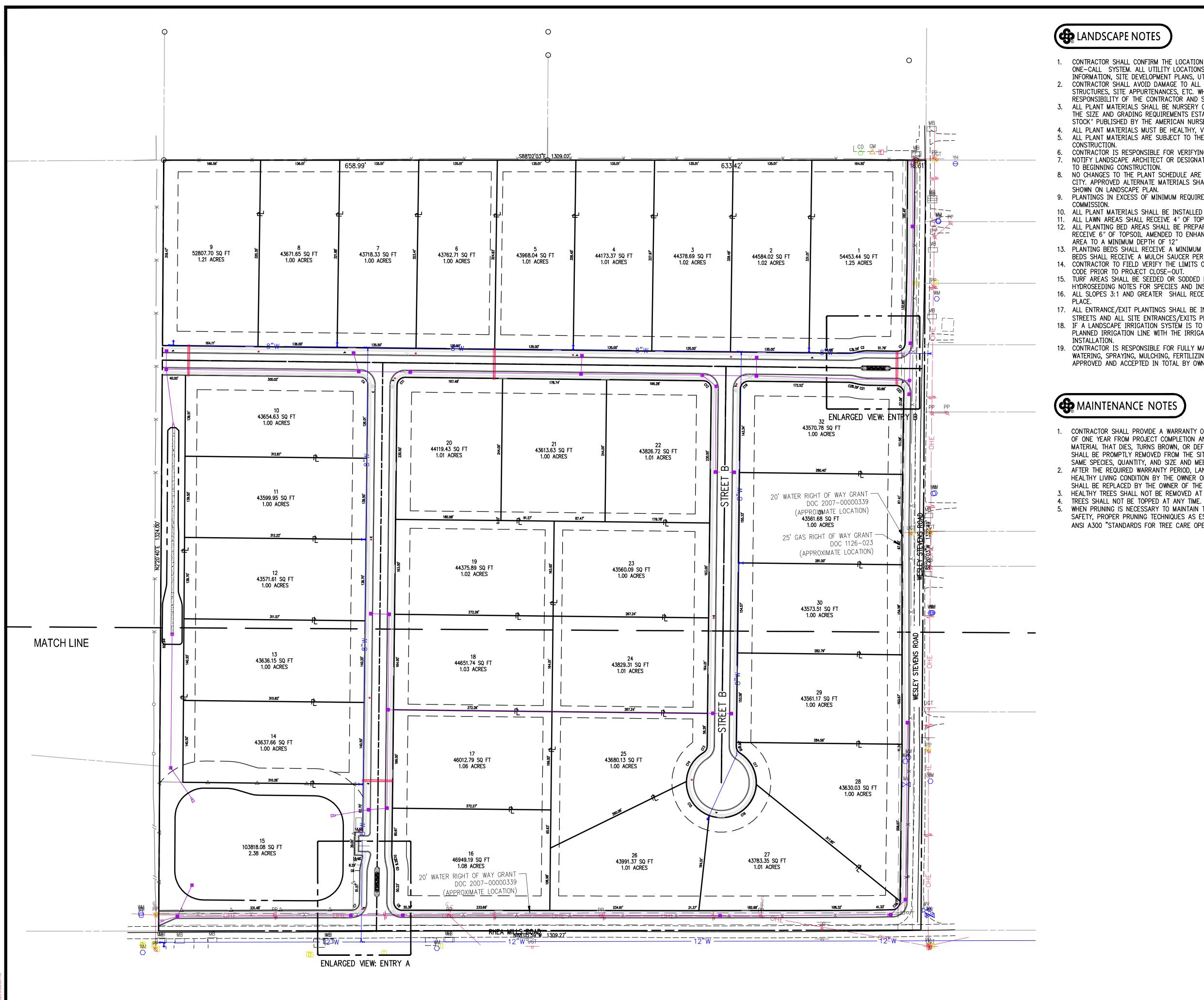
DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.

U. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

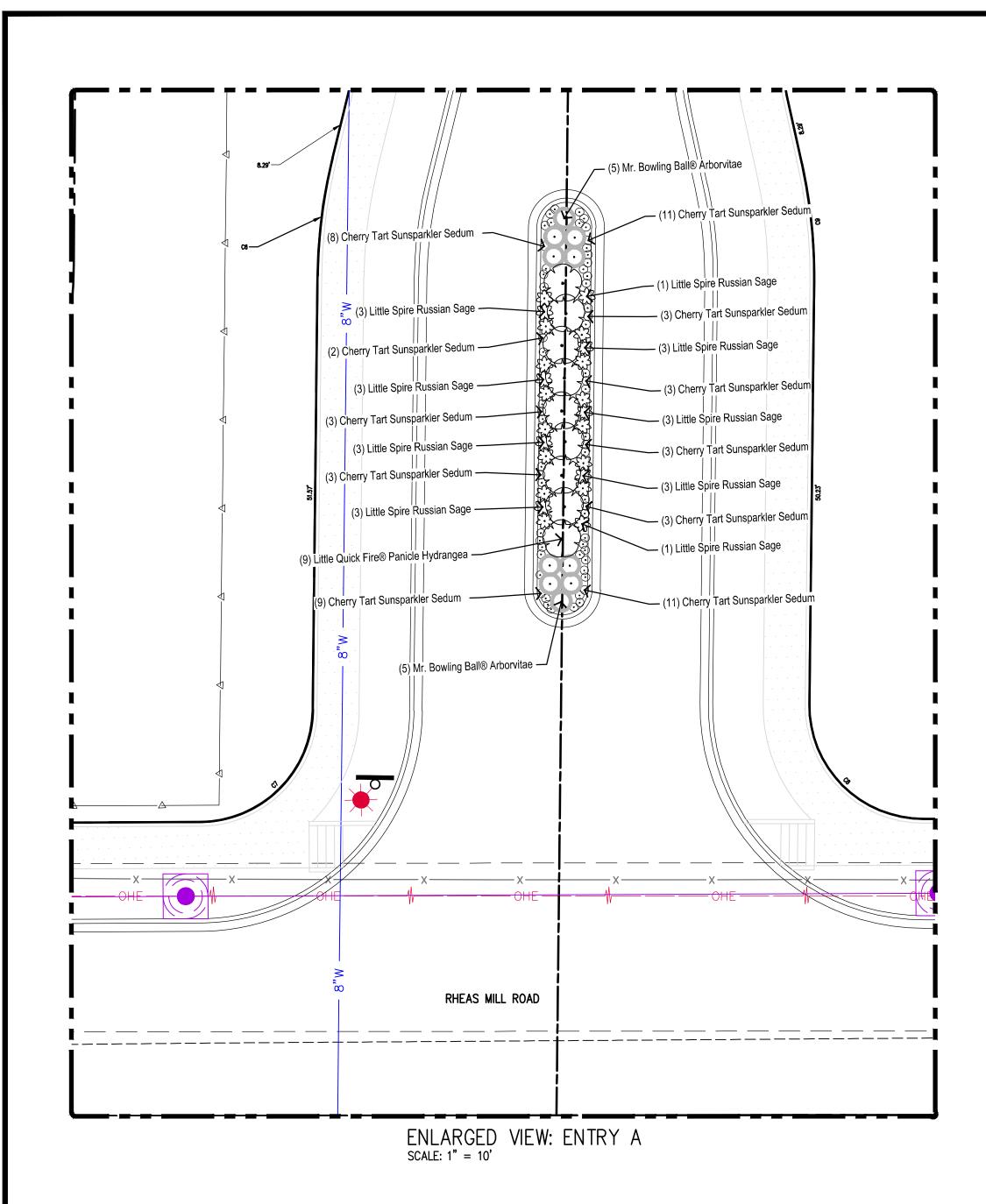
CONSTRUCTION SE ROUGH GRADE / TEMPORARY CON1 STRIP & STOCKPIL STORM FACILITIES TEMPORARY CONS FOUNDATION / BI SITE CONSTRUCTIO PERMANENT CONT FINISH GRADING LANDSCAPING/SEE

	300 N College Ave., Suite 317 Fayetteville, Arkansas 72701
PROVIDE CONTINUOUS RAISED CONTINUOUS 6 MIL POLYETHYLENE	479.636.4838 t www.craftontull.com
PERIMETER STRUCTURE/BARRIER (SUCH AS STRAW BALES OR 2X12s) AND PROVIDE ADEQUATE MEANS TO	CERTIFICATE OF AUTHORIZATION:
SECURE TO GROUND.	CRAFTON, TULL & ASSOCIATES, INC. No. 109
MEANS TO SECURE POLYETHYLENE	ARKAWSAS ENGINEER
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NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE	
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/ BUILDING CONSTRUCTION	
	RESERVE ON RHEAS MILL
CONTROL STRUCTURES     Image: Control structures       DING     Image: Control structures	FARMINGTON, AR
G/SEED/FINAL STABILIZATION	
DEVELOPER/OWNER: ENTER DEVELOPER INFORMATION	Key Plan
ACREAGE SUMMARY IMPERVIOUS AREA ENTER ACREAGE	
INFLECTIONS AREA     ENTER ACREAGE       SEEDED AREA     ENTER ACREAGE       SITE OPERATOR/GENERAL CONTRACTOR:	
TOTAL DISTURBED ENTER ACREAGE	
ENCHMARK INFORMATION	No. Description Date
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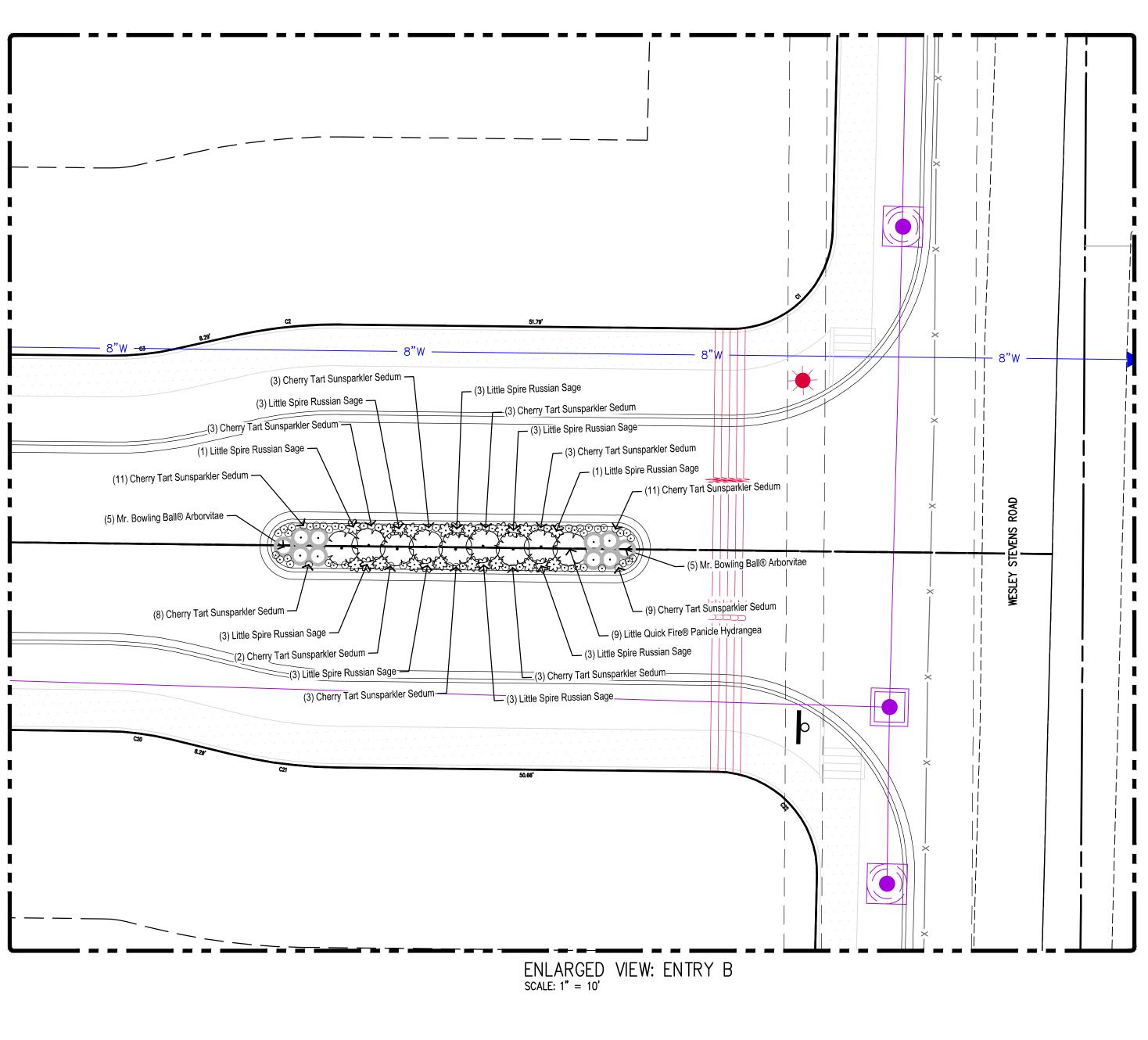


#### 300 N College Ave., Suite 317 Fayetteville, Arkansas 72701 **CP** Crafton Tull 1. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK BY CONTACTING THE 479.636.4838 † ONE-CALL SYSTEM. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE BASED ON SURVEY www.craftontull.com INFORMATION, SITE DEVELOPMENT PLANS, UTILITY RECORDS, ETC. RTIFICATE OF AUTHORIZATION 2. CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF WORK. ANY DAMAGES TO UTILITIES, OF AU STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT NO COST TO OWNER. 3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN (CONTAINER OR BALLED & BURLAPPED) AND SHALL MEET OR EXCEED CRAFTON, TULL & ASSOCIATES, INC. THE SIZE AND GRADING REQUIREMENTS ESTABLISHED BY THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY No. 109 STOCK" PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. 4. ALL PLANT MATERIALS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND/OR DISEASE. 5. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER 6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO PRICING THE WORK. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT OR QUANTITY DISCREPANCIES PRIOR 8. NO CHANGES TO THE PLANT SCHEDULE ARE ALLOWED WITHOUT APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND CITY. APPROVED ALTERNATE MATERIALS SHALL MEET THE SAME CRITERIA FOR TYPE, SIZE, AND FUNCTION AS THOSE 9. PLANTINGS IN EXCESS OF MINIMUM REQUIREMENTS MAY NOT BE REDUCED ONCE APPROVED BY THE PLANNING 10. ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED. 11. ALL LAWN AREAS SHALL RECEIVE 4" OF TOPSOIL TO MEET FINAL GRADE IN ACCORDANCE WITH GRADING PLAN. 12. ALL PLANTING BED AREAS SHALL BE PREPARED BY REMOVING EXISTING SOD AND WEEDS. PLANTING BED AREAS SHALL RECEIVE 6" OF TOPSOIL AMENDED TO ENHANCE FAVORABLE GROWING CONDITIONS. SOIL MIX SHALL BE TILLED INTO BED 13. PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" SHREDDED HARDWOOD MULCH. ALL TREES NOT LOCATED IN PLANTING BEDS SHALL RECEIVE A MULCH SAUCER PER DETAIL. 14. CONTRACTOR TO FIELD VERIFY THE LIMITS OF DISTURBANCE. ALL DISTURBED AREAS MUST BE STABILIZED PER CITY 15. TURF AREAS SHALL BE SEEDED OR SODDED PER PLANTING PLAN. REFER TO PLANT SCHEDULE, LANDSCAPE NOTES, AND HYDROSEEDING NOTES FOR SPECIES AND INSTALLATION REQUIREMENTS. 16. ALL SLOPES 3:1 AND GREATER SHALL RECEIVE SOD. ON SLOPES OF 4:1 OR GREATER, SOD SHALL BE STAPLED IN 17. ALL ENTRANCE/EXIT PLANTINGS SHALL BE INSTALLED AND MAINTAINED TO PROVIDE CLEAR SIGHT DISTANCE FROM THE STREETS AND ALL SITE ENTRANCES/EXITS PER CITY CODE. RAPHIC SCALE IN FEE 18. IF A LANDSCAPE IRRIGATION SYSTEM IS TO BE CONSTRUCTED, LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF PLANNED IRRIGATION LINE WITH THE IRRIGATION CONTRACTOR PRIOR TO PLANTING BED CONSTRUCTION AND PLANT 19. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL. (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS APPROVED AND ACCEPTED IN TOTAL BY OWNER. 1. CONTRACTOR SHALL PROVIDE A WARRANTY ON ALL PLANT MATERIALS FOR A MINIMUM OF ONE YEAR FROM PROJECT COMPLETION AND ACCEPTANCE BY OWNER. ANY PLANT MATERIAL THAT DIES, TURNS BROWN, OR DEFOLIATES PRIOR TO WARRANTY EXPIRATION SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. RESERVE ON RHEAS MILL 2. AFTER THE REQUIRED WARRANTY PERIOD, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION BY THE OWNER OF THE PROPERTY. ALL PLANTS THAT DIE FARMINGTON, AR SHALL BE REPLACED BY THE OWNER OF THE PROPERTY. 3. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME. WHEN PRUNING IS NECESSARY TO MAINTAIN THE HEALTH OF THE TREE OR FOR PUBLIC SAFETY, PROPER PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE OPERATIONS" SHALL BE UTILIZED. This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc. PROJECT NO: THIS ISSUE DATE: mm/dd/yy CONTACT: C. GARDNER DOCUMENT IS PRELIMINARY IN QC by: NATURE AND IS NOT PRELIMINARY a final, signed AND SEALED plans DOCUMENT © 2025 Crafton, Tull & Associates, OVERALL PLANTING PLAN L-101



### ( PLANT SCHEDULE )

SYMBOL	<u>QTY</u>	BOTANICAL / COMMON NAME	<u>SIZE</u>
<u>SHRUBS</u>			
$\left( \cdot \right)$	18	HYDRANGEA PANICULATA 'SMHPLQF' / LITTLE QUICK FIRE® PANICLE HYDRANGEA	3 GAL
Ê	46	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / LITTLE SPIRE RUSSIAN SAGE	1 GAL
•	118	SEDUM X 'CHERRY TART' / CHERRY TART SUNSPARKLER SEDUM	1 GAL
$\odot$	20	THUJA OCCIDENTALIS 'BOBOZAM' / MR. BOWLING BALL® ARBORVITAE	3 GAL



	Fayetteville, Arkansas 72701 <b>Cafton Tull</b> 479.636.4838 t www.craftontull.com
CERTIFICATE OF AUTHORIZATIO	ON: CRAFTON, TULL & ASSOCIATES, INC. No. 109 ASSOCIATES, INC. No. 109 ASSOCIATES, INC. No. 109
GRAPHIC 10'	SCALE IN FEET
	DN RHEAS MILL 1ington, ar
Key Plan	
<u>No.</u> Desc	cription Date
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