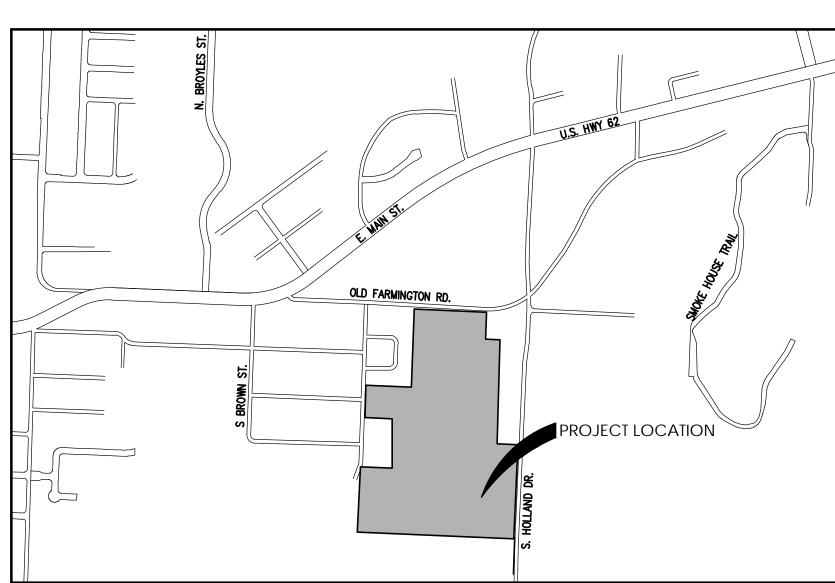
OLD FARMINGTON RD SUBDIVISION

FARMINGTON, ARKANSAS

PRELIMINARY PLAT



Sheet List Table

SHEET NUMBER	SHEET TITLE
C-001	COVER SHEET
C-002	PROJECT CONTROL SHEET
C-101	OVERALL PRELIMINARY PLAT
C-102	PRELIMINARY PLAT A
C-103	PRELIMINARY PLAT B
C-104	PRELIMINARY PLAT TABLES
C-105	OVERALL UTILITY PLAN
C-106	UTILITY PLAN A
C-107	UTILITY PLAN B
C-108	OVERALL GRADING PLAN
C-109	GRADING PLAN A
C-110	GRADING PLAN B
C-111	EROSION CONTROL PH 1
C-112	EROSION CONTROL PH 2
C-501	TYPICAL SECTIONS
C-502	FAYETTEVILLE WATER DETAILS
C-503	FAYETTEVILLE WATER DETAILS
C-504	FAYETTEVILLE WATER DETAILS

OLD FARMINGTON RD **SUBDIVISION**

FARMINGTON, ARKANSAS

901 N. 47th St., Suite 400 Rogers, Arkansas 72756

www.craftontull.com

CRAFTON, TULL &

ASSOCIATES, INC.

No.	Description	
	p	

This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be

used, in whole or in part, for any other project, without the

written authorization of Crafton, Tull & Associates, Inc.

DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT PRELIMINARY A FINAL, SIGNED AND SEALED DOCUMENT

COVER SHEET

C-001

SYMBOLS LINEWORK BENCHMARK EASEMENT FOUND IRON PIPE/REBAR FOUND MONUMENT/ROW AIR CONDITIONER INTERMEDIATE CONTOUR AIR RELEASE VALVE INDEX CONTOUR ELECTRIC BOX/PEDESTAL ELECTRIC JUNCTION BOX SANITARY SEWER LINE (SPECIFY SIZE & TYPE) ELECTRIC METER ELECTRIC TRANSFORMER FIRE DEPARTMENT CONNECTION WATER LINE (SPECIFY SIZE & TYPE) FIRE HYDRANT GAS METER UNDERGROUND TELEPHONE GAS VALVE UNDERGROUND ELECTRIC **GUARD POST** LIGHT POLE OVERHEAD ELECTRIC POWER POLE SANITARY MANHOLE UNDERGROUND TELEVISION SANITARY SEWER CLEANOUT OVERHEAD TELEVISION SPRINKLER HEAD CHAIN LINK FENCE TELEPHONE PEDESTAL TV PEDESTAL WOOD FENCE

BARBED WIRE FENCE

FIBER OPTIC

RIGHT OF WAY

ROAD CENTERLINE

LEGEND (EXISTING SYMBOLS)



STORM SEWER PIPE

STORM SEWER MANHOLE

WATER FAUCET

WATER METER

WATER VALVE





RIGHT OF WAY

PROPERTY LINE

ROAD CENTERLINE

	<u>SYMBOLS</u>
	SET IRON PIN
*	LIGHT POLE
¥ `■	POWER POLE
	TELEPHONE PEDESTAL
	TV PEDESTAL
•	MANHOLE
0	SANITARY SEWER CLEANOUT
A	GAS METER
H	GAS VALVE
	STORM SEWER PIPE
(–X)	STRUCTURE NUMBER

WATER VALVE FIRE HYDRANT ASSEMBLY AIR RELEASE VALVE FIRE DEPARTMENT CONNECTION WATER METER BACK FLOW PREVENTER REDUCER

RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET) CIRCULAR DROP INLET.



GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)





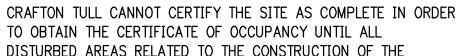
Know what's **below** Call before you dig. EASEMENT INTERMEDIATE CONTOUR INDEX CONTOUR SANITARY SEWER LINE GAS LINE WATER LINE UNDERGROUND TELEPHONE _____UGE ___ UNDERGROUND ELECTRIC OVERHEAD ELECTRIC FIBER OPTIC UNDERGROUND TELEVISION CHAIN LINK FENCE WOOD FENCE BARBED WIRE FENCE BUILDING SET BACK

GENERAL NOTES

- THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN
- 2. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS IS BASED ON A SEARCH O THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. CRAFTON TULL ASSUMES NO RESPONSIBILITY REGARDING THE ACCURACY OF THE DEPICTED LOCATION(S) OF THE UNDERGROUND FACILITIES ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ANY OTHER FACILITIES NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION OF ALL FACILITIES BEFORE
- 3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.
- 4. THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN. AS AN INSTRUMENT OF PROFESSIONAL SERVICES. IS THE PROPERTY OF CRAFTON, TULL & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CRAFTON, TULL & ASSOCIATES, INC.
- CONTRACTOR SHALL NOT CAUSE ANY LONG-TERM INCONVENIENCE TO THE PUBLIC, ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
- 6. CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A DISCREPANCY OR INCONSISTENCY IS IDENTIFIED IN THE PLANS OR
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT WHICH ARE NECESSARY TO CONFORM TO OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- 8. ENGINEER OF RECORD SHALL OBSERVE THE INSTALLATION OF THE WATER & SEWER MAINS. BEYOND THAT SCOPE, CRAFTON TULL & ASSOCIATES, INC. (CTA) HAS NOT BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION OR OBSERVATION SERVICES FOR THE WORK INDICATED ON THESE DRAWINGS. THEREFORE, CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CRAFTON, TULL & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION, OR ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREOF. FURTHERMORE, CRAFTON, TULL & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANY EFFECTS THAT ANY CHANGES TO THESE DOCUMENTS MAY HAVE ON ANY RELATED TRADES, CONSTRUCTION SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT EXCEPT AS SPECIFICALLY NOTED IN THE AGREEMENT BETWEEN CRAFTON, TULL &
- 9. ALL MATERIALS TESTING SHALL BE PERFORMED BY A GEO-TECHNICAL ENGINEER LICENSED IN THE STATE OF ARKANSAS. ALL TESTING SHALL BE PREFORMED PER THE GEO-TECHNICAL REPORT REQUIREMENTS, TECHNICAL SPECIFICATION, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE AT CONTRACTORS EXPENSE. 10. ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED NOTICES:

ASSOCIATES AND THE OWNER.

ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.



TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.

SITE STABILIZATION AND CERTIFICATION



WATER & SEWER CITY OF FAYETTEVILLE FAYETTEVILLE, AR. PHONE: (479) 521-1258



BUILDING SETBACK:

SITE AREA: 41.59 AC. (1811502.09 SQ.FT.) **ZONING:** R-1

FRONT

SIDE

REAR 20'

PROPERTY USAGE: RESIDENTIAL

275 E. OLD FARMINGTON RD. ADDRESS: FARMINGTON, AR BLACK PINE CONSTRUCTION

& DEVELOPMENT, LLC SITE ENGINEER:

CRAFTON TULL CAROLINE GARDNER P.E. 300 N. COLLEGE AVE., SUITE 317 FAYETTEVILLE, AR 72701 479-636-4838

THIS PROPERTY IS NOT IN FLOOD ZONE "A" OR "AE", AND IS OUTSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05143C0215G, EFFECTIVE DATE 1/25/2024

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR AND NO OPINION OF FLOOD HAZARDS IS INCLUDED IN THIS SURVEY. THE FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON WERE SCALED FROM THE MAPS CITED AND ARE NOT THE RESULT OF INDEPENDENT COMPUTATION OR ANALYSIS.

PROPERTY DESCRIPTION

PART OF THE NORTHWEST QUARTER (NW/4) OF THE NW/4 AND PART OF THE SOUTHWEST QUARTER (SW/4) OF THE NW/4 OF SECTION 25, TOWNSHIP 16 NORTH, RANGE 31 WEST, IN THE CITY OF FARMINGTON, WASHINGTON COUNTY, ARKANSAS. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SW/4 OF THE NW/4, A 1/2" REBAR IN SOUTH HOLLAND DRIVE; THENCE ALONG THE EAST LINE OF SAID SW/4 OF THE NW/4 SOUTH 02°07'02" WEST, A DISTANCE OF 532.22 FEET TO A MAGNAIL IN SOUTH HOLLAND DRIVE; THENCE LEAVING SAID EAST LINE NORTH 87°36'01" WEST, A DISTANCE OF 437.88 FEET TO A SET PLASTIC CAPPED 5/8" REBAR EMBOSSED "AR PS 1304"; THENCE NORTH 87°41'38" WEST, A DISTANCE OF 427.71 FEET TO A 1/2" REBAR; THENCE NORTH 87°33'42" WEST, CROSSING A 1" PIPE AT A DISTANCE OF 439.10 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 439.72 FEET TO A POINT ON A BARBED WIRE FENCE; THENCE ALONG SAID FENCE FOR THE FOLLOWING FIVE (5) CALLS:

1) NORTH 02°30'56" EAST, A DISTANCE OF 39.88 FEET;

2) NORTH 0311'28" EAST, A DISTANCE OF 48.50 FEET;

3) NORTH 04°39'37" EAST, A DISTANCE OF 5.48 FEET;

4) NORTH 02°40'08" EAST, A DISTANCE OF 116.81 FEET;

5) NORTH 02°40'52" EAST, PASSING A CROSSTIE FENCE CORNER POST AT A DISTANCE OF 124.64 AND CONTINUING FOR A TOTAL DISTANCE OF 128.86 FEET TO A SET PLASTIC CAPPED 5/8" REBAR EMBOSSED "AR PS 1304";

THENCE NORTH 03°38'49" EAST, A DISTANCE OF 190.70 FEET TO AN EXISTING 1" PIPE; THENCE SOUTH 87°36'09" EAST, A DISTANCE OF 250.12 FEET TO A 5/8" REBAR; THENCE NORTH 02"08'06" EAST, A DISTANCE OF 156.83 FEET TO A 5/8" REBAR; THENCE NORTH 87°38'19" WEST, A DISTANCE OF 11.06 FEET TO A 1/2" REBAR; THENCE NORTH 02°13'24" EAST, CROSSING AN EXISTING 5/8" REBAR AT A DISTANCE OF 44.75 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 241.83 FEET TO A 5/8" REBAR; THENCE NORTH 87°35'07" WEST, A DISTANCE OF 222.86 FEET TO A 5/8" REBAR; THENCE SOUTH 01°24'54" WEST, A DISTANCE OF 196.55 FEET; THENCE NORTH 87°26'22" WEST, CROSSING A PLASTIC CAPPED REBAR IN ASPHALT AT A DISTANCE OF 34.76 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 35.15 FEET TO THE WEST LINE OF SAID SECTION 25; THENCE ALONG SAID WEST LINE NORTH 02°20'49" EAST, CROSSING A PLASTIC CAPPED 1/2" REBAR EMBOSSED "ALAN REID 1005" AT A DISTANCE OF 196.62 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 457.14 FEET TO A POINT ON SAID WEST SECTION LINE AT 0.33 FEET SOUTH OF AN EXISTING MAGNAIL; THENCE LEAVING SAID WEST LINE SOUTH 87°43'40" EAST ALONG A BARBED WIRE FENCE, PASSING A FENCE CORNER AT A DISTANCE OF 33.8 FEET AND CONTINUING WITH FENCE FOR A TOTAL DISTANCE OF 396.00 FEET TO A SET PLASTIC CAPPED 5/8" REBAR EMBOSSED "AR PS 1304"; THENCE LEAVING SAID FENCE NORTH 02°20'49" EAST, CROSSING THE OCCUPIED SOUTH LINE OF LONGWITH ADDITION PHASE II AT 3.70 FEET WESTERLY 1.39 FEET FROM THE SOUTHEAST CORNER THEREOF, ALSO AT AN ADDITIONAL DISTANCE OF 263.15 FEET CROSSING THE OCCUPIED SOUTH LINE OF LOT 5 OF SAID ADDITION AT A POINT 2.05 FEET WESTERLY FROM THE SOUTHEAST CORNER THEREOF (AN EXISTING 1/2" REBAR), AND CONTINUING FOR A TOTAL DISTANCE OF 660.52 FEET TO A POINT AT THE NORTH LINE OF SAID SECTION 25 AT 0.46 FEET EASTERLY FROM AN EXISTING MAGNAIL; THENCE ALONG SAID NORTH LINE SOUTH 87°47'37" EAST, A DISTANCE OF 587.79 FEET TO AN EXISTING MAGNAIL IN EAST OLD FARMINGTON ROAD; THENCE LEAVING SAID NORTH LINE SOUTH 02°28'06' WEST, A DISTANCE OF 249.90 FEET TO A PLASTIC CAPPED 1/2" REBAR EMBOSSED "ALAN REID 1005"; THENCE SOUTH 87°46'55" EAST, A DISTANCE OF 118.25 FEET TO A PLASTIC CAPPED 1/2" REBAR EMBOSSED "ALAN REID 1005': THENCE SOUTH 01°22'51" WEST. A DISTANCE OF 411.99 FEET TO A 5" WOOD FENCE CORNER POST: THENCE NORTH 87°40'35" WEST, A DISTANCE OF 0.20 FEET; THENCE SOUTH 01°52'53° WEST, A DISTANCE OF 429.89 FEET TO A 1/2" REBAR; THENCE SOUTH 87°44'19" EAST, CROSSING AN EXISTING PLASTIC CAPPED 5/8" REBAR EMBOSSED "AR 1756/OK 1857" AT A DISTANCE OF 173.98 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 199.74 FEET; THENCE SOUTH 01°54'14" WEST, A DISTANCE OF 229.55 FEET TO THE POINT OF BEGINNING. CONTAINING 41.59 ACRES MORE OR LESS. SUBJECT TO EAST OLD FARMINGTON ROAD ALONG THE NORTH, SOUTH HOLLAND DRIVE ALONG THE EAST, AND SOUTH SPRAGUE LANE ALONG THE WEST.

BASIS OF BEARINGS: ARKANSAS STATE PLANE GRID NORTH NAD 83(1986) BASED ON THE CITY OF FAYETTEVILLE CONTROL MONUMENTS USING THEIR PUBLISHED VALUES.

ALSO SUBJECT ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, UNWRITTEN RIGHTS OR RESTRICTIONS OF RECORD OR FACT.



NOTE: UNDERGROUND UTILITIES NOT MARKED AT THE TIME OF SURVEY. CONTRACTOR TO FIELD VERIFY.

LEGEND (EXISTING SYMBOLS)

	<u>SYMBOLS</u>	<u>LINEWORK</u>	
\Phi	BENCHMARK		
0	FOUND IRON PIPE/REBAR	EASEMENT	
•	PRIMARY CONTROL/SET MONUMENT		======
	FOUND MONUMENT/ROW	CURB	_
AC	AIR CONDITIONER	INTERMEDIATE CONTOUR	6
I ARV	AIR RELEASE VALVE		5
\boxtimes	ELECTRIC BOX/PEDESTAL	INDEX CONTOUR	
EB	ELECTRIC JUNCTION BOX	CANITADY CENED LINE (CDECIEV CIZE & TYPE)	- SS
E	ELECTRIC METER	SANITARY SEWER LINE (SPECIFY SIZE & TYPE)	- G
ф	ELECTRIC TRANSFORMER	GAS LINE	
₹, FDC	FIRE DEPARTMENT CONNECTION	WATER LINE (SPECIFY SIZE & TYPE)	– W ––––
- 6 -FH	FIRE HYDRANT	——————————————————————————————————————	
△ GM	GAS METER	UNDERGROUND TELEPHONE	-061
GV GV	GAS VALVE		₩
0	GUARD POST	UNDERGROUND ELECTRIC	
-\$≯LP	LIGHT POLE	OVERHEAD ELECTRIC	₩
⋈ PP	POWER POLE	UGTV ———	LICTV
S	SANITARY MANHOLE	UNDERGROUND TELEVISION	- UGIV
o co	SANITARY SEWER CLEANOUT	OHTV	- OHTV
 o	SIGN	OVERHEAD TELEVISION	
\otimes	SPRINKLER HEAD	CHAIN LINK FENCE	
T	TELEPHONE PEDESTAL	CHAIN LINK FENCE	
	TV PEDESTAL	WOOD FENCE	• •
Θ	WATER FAUCET	BARBED WIRE FENCE	-X
→ WM	WATER METER		F0
₩V	WATER VALVE	FIBER OPTIC	-ru
<u> </u>	DOWN GUY	RICHT OF WAY	

DROP/CURB GRATED INL
INLET

TREE TO BE REMOVED

CONTROL POINT TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
11	629292.72	653345.21	1247.58	CTL 5/8 RBR CTA CAP
12	629633.26	653151.16	1231.08	CTL 5/8 RBR CTA CAP
13	629611.47	653637.59	1256.13	CTL 5/8 RBR CTA CAP

ROAD CENTERLINE

PROJECT CONTROL NOTE

ONLY THE CONTROL POINTS, COORDINATE VALUES, AND ELEVATIONS SHOWN ON THIS SHEET SHALL BE USED ON THIS PROJECT. CRAFTON, TULL & ASSOCIATES SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES OF USING CONTROL POINTS, COORDINATE VALUES OR ELEVATIONS ESTABLISHED OR DERIVED FROM OTHER SOURCES. CRAFTON, TULL & ASSOCIATES, AT ITS SOLE DISCRETION, MAY ALLOW THE USE OF ALTERNATIVE OR ADDITIONAL CONTROL, BY A WRITTEN AMENDMENT TO THIS SHEET SEALED BY THE RESPONSIBLE SURVEYOR. USERS OF THESE CONTROL POINTS SHALL EXERCISE DUE CARE AND GOOD SURVEYING PRACTICE AND IMMEDIATELY NOTIFY THE CRAFTON, TULL & ASSOCIATES PROJECT ENGINEER OF ANY INCONSISTENCIES IN THE OBSERVED COORDINATE VALUES, ELEVATIONS AND DESCRIPTIONS FOR CONTROL POINTS SHOWN ON THIS SHEET.

THE ABOVE CONTROL POINT TABLE ITEM VALUES DO NOT CONSTITUTE A "SURVEYING MEASUREMENT CERTIFICATION" AS DEFINED BY ARKANSAS CODE SECTION 17-48-101 (6) (A) (B) AS OF JULY 2014. THERE IS NO WARRANTY TO THIRD PARTIES AS TO ACCURACY OR CORRECTNESS OF THE NUMERICAL VALUES SHOWN HEREON.

BASIS OF BEARING: ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83 HORIZONTAL DATUM AND NGVD 29 VERTICAL DATUM DETERMINED BY GPS OBSERVATION ON THE CITY OF FAYETTEVILLE CONTROL MONUMENTS USING THEIR PUBLISHED VALUES.
BEARING: GRID
DISTANCE: GRID

CONVERGENCE ANGLE: 01"19'09.555"
COMBINED SCALE FACTOR: 0.999910522
VALUES PUBLISHED FOR FAYETTEVILLE MONUMENT: F1
N 630063.250 E 642094.452 Z 1200.20

PROJECT CONTROL CERTIFICATE:

I HEREBY DECLARE THAT ON THE 13TH DAY OF JANUARY, 2025 THE ABOVE CONTROL POINT TABLE ITEM VALUES WERE CHECKED TO FOR CONSISTENCY WITH THE FIELD DATA FOR EACH ITEM PROVIDED BY THE FIELD CREW UNDER MY SUPERVISION. THE CONTROL HORIZONTAL AND VERTICAL DATUM WAS CONFIRMED IN RELATION TO THE RELEVANT LOCAL MUNICIPAL CONTROL SYSTEM. THIS CERTIFICATION IS APPLICABLE ONLY TO THE CONTROL POINT VALUES AS THEY EXISTED AT THE TIME OF IMPLEMENTATION BY THE FIELD CREW UNDER MY SUPERVISION. THIS CERTIFICATE DOES NOT EXTEND TO ANY ITEM OR DEPICTION SHOWN HEREON, OTHER THAN THE CONTROL POINT VALUES SHOWN IN THE CONTROL POINT TABLE.

CRAFTON, TULL, & ASSOCIATES, INC.
BY MARK A. MEADOR (AGENT)

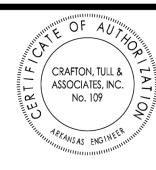
Mark A. MEADOR PS 1304

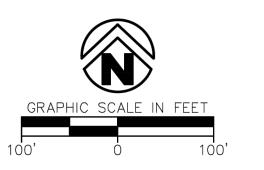
04 Feb. 2025

NOTE:
THIS PLAN SHEET DOES NOT CONSTITUTE A BOUNDARY SURVEY OR ALTA/ASPS LAND TITLE SURVEY. EXCEPT FOR THE CONTROL POINT TABLE VALUES, ALL ELSE IS SHOWN FOR INFORMATION ONLY.



CERTIFICATE OF AUTHO





OLD FARMINGTON RD. SUBDIVISION

FARMINGTON, AR

No.	Description	Date
—		
—		
—		
_		
=		
—		
—		
—		
—		
=		

This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.

ARKANSAS

No. 1304

PROJECT NO: 24305500
ISSUE DATE: 1/13/2025
CONTACT: C. UMANA
QC by: M. MEADOR
QC Date: 02-03-2025

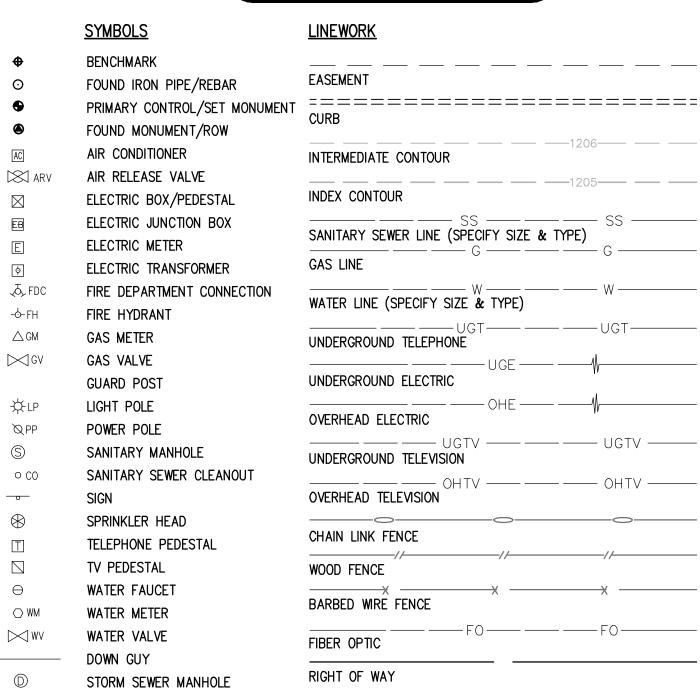
rafton, Tull & Associates, Inc.

PROJECT CONTROL

C-002

AWING: G:\24305500_OLDFARMRDSUBD\INFRASTRUCTURE\SURVEY\DWG\24305500_SUR.DWG YOUT: C-002_, LAST SAVED: MM5175, 2/4/2025 8:13:40 AM





ROAD CENTERLINE

STORM SEWER PIPE

DROP/CURB

🚱 LEGEND (CONSTRUCT

LINEWORK EASEMENT INTERMEDIATE CONTOUR

TELEPHONE PEDESTAL TV PEDESTAL INDEX CONTOUR SANITARY SEWER CLEANOUT GAS METER SANITARY SEWER LINE GAS VALVE GAS LINE STORM SEWER PIPE STRUCTURE NUMBER WATER LINE WATER VALVE FIRE HYDRANT ASSEMBLY UNDERGROUND TELEPHONE AIR RELEASE VALVE UNDERGROUND ELECTRIC FIRE DEPARTMENT CONNECTION

FIBER OPTIC RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION UNDERGROUND TELEVISION BOX (SPECIFY ON PLAN SHEET) CHAIN LINK FENCE

ROAD CENTERLINE

OVERHEAD ELECTRIC

CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

SYMBOLS

SET IRON PIN

LIGHT POLE

MANHOLE

WATER METER

REDUCER

BACK FLOW PREVENTER

POWER POLE

WOOD FENCE BARBED WIRE FENCE

> BUILDING SET BACK RIGHT OF WAY PROPERTY LINE

GENERAL NOTES

- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE ONLY FOR COORDINATION OF THE WALL LOCATION AND
- ELEVATIONS. 2. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS IS BASED ON A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. CRAFTON TULL ASSUMES NO RESPONSIBILITY REGARDING THE ACCURACY OF THE DEPICTED LOCATION(S) OF THE UNDERGROUND FACILITIES ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ANY OTHER FACILITIES NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION OF ALL FACILITIES BEFORE BEGINNING WORK.
- 3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN
- OR NEAR THE CONSTRUCTION SITE. 4. THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF CRAFTON, TULL & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN
- AUTHORIZATION OF CRAFTON, TULL & ASSOCIATES, INC. 5. CONTRACTOR SHALL NOT CAUSE ANY LONG-TERM INCONVENIENCE TO THE PUBLIC, ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.

- 6. CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A DISCREPANCY OR INCONSISTENCY IS IDENTIFIED IN THE PLANS OR SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT WHICH ARE NECESSARY TO CONFORM TO OSHA. FEDERAL, STATE AND LOCAL REGULATIONS.
- ENGINEER OF RECORD SHALL OBSERVE THE INSTALLATION OF THE WATER & SEWER MAINS. BEYOND THAT SCOPE, CRAFTON TULL & ASSOCIATES, INC. (CTA) HAS NOT BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION OR OBSERVATION SERVICES FOR THE WORK INDICATED ON THESE DRAWINGS. THEREFORE, CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CRAFTON, TULL & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION, OR ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREOF. FURTHERMORE, CRAFTON, TULL & ASSOCIATÉS, INC. WILL NOT BE RESPONSIBLE FOR ANY EFFECTS THAT ANY CHANGES TO THESE DOCUMENTS MAY HAVE ON ANY RELATED TRADES, CONSTRUCTION SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT EXCEPT AS SPECIFICALLY NOTED IN THE AGREEMENT BETWEEN CRAFTON, TULL & ASSOCIATES AND THE OWNER.
- 9. ALL MATERIALS TESTING SHALL BE PERFORMED BY A GEO-TECHNICAL ENGINEER LICENSED IN THE STATE OF ARKANSAS. ALL TESTING SHALL BE PREFORMED PER THE GEO-TECHNICAL REPORT REQUIREMENTS, TECHNICAL SPECIFICATION, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE
- RESTRICTIVE AT CONTRACTORS EXPENSE. 10. <u>Energized electrical line safety, warnings, and advanced notices:</u> ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL. INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT. AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.

- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS
- 2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE/FEDERAL REGULATIONS AND CODES AND OSHA
- 3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- 4. ALL CURB DIMENSIONS AND RADII ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- 5. ALL PAVEMENT MARKINGS DIMENSIONS BACK OF CURB UNLESS
- OTHERWISE NOTED. 6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT
- 7. ALL CURB/SIDEWALK/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE.
- 8. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.

9. CONTRACTOR SHALL MATCH NEW CURB AND GUTTER, CONCRETE, AND

PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT. 10. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND

VEHICULAR TRAFFIC TO AND FROM THE SITE.

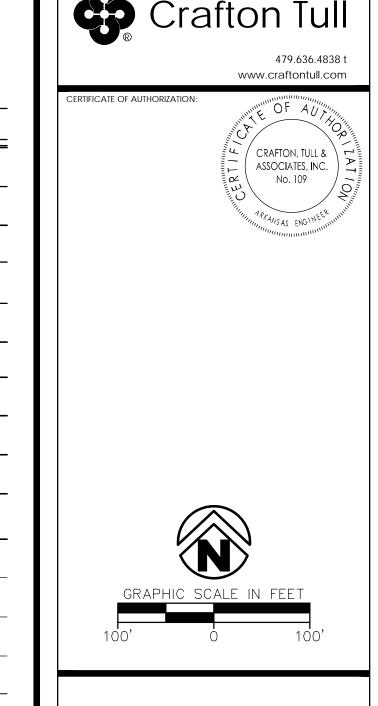


BUILDABLE LOTS: 103 UNBUILDABLE LOTS: 4 (LOTS 25, 29, 66 & 107) TOTAL LOTS:



ZONING: R-1

FRONT: 25' B/S EXTERIOR SIDE: 25' B/S SIDE: 10' B/S REAR: 20' B/S LOT FRONTAGE: 75' MIN LOT SIZE: 10,000 SQFT



901 N. 47th St., Suite 400 Rogers, Arkansas 72756

OLD FARMINGTON RD **SUBDIVISION**

FARMINGTON, ARKANSAS

No.	Description	Date

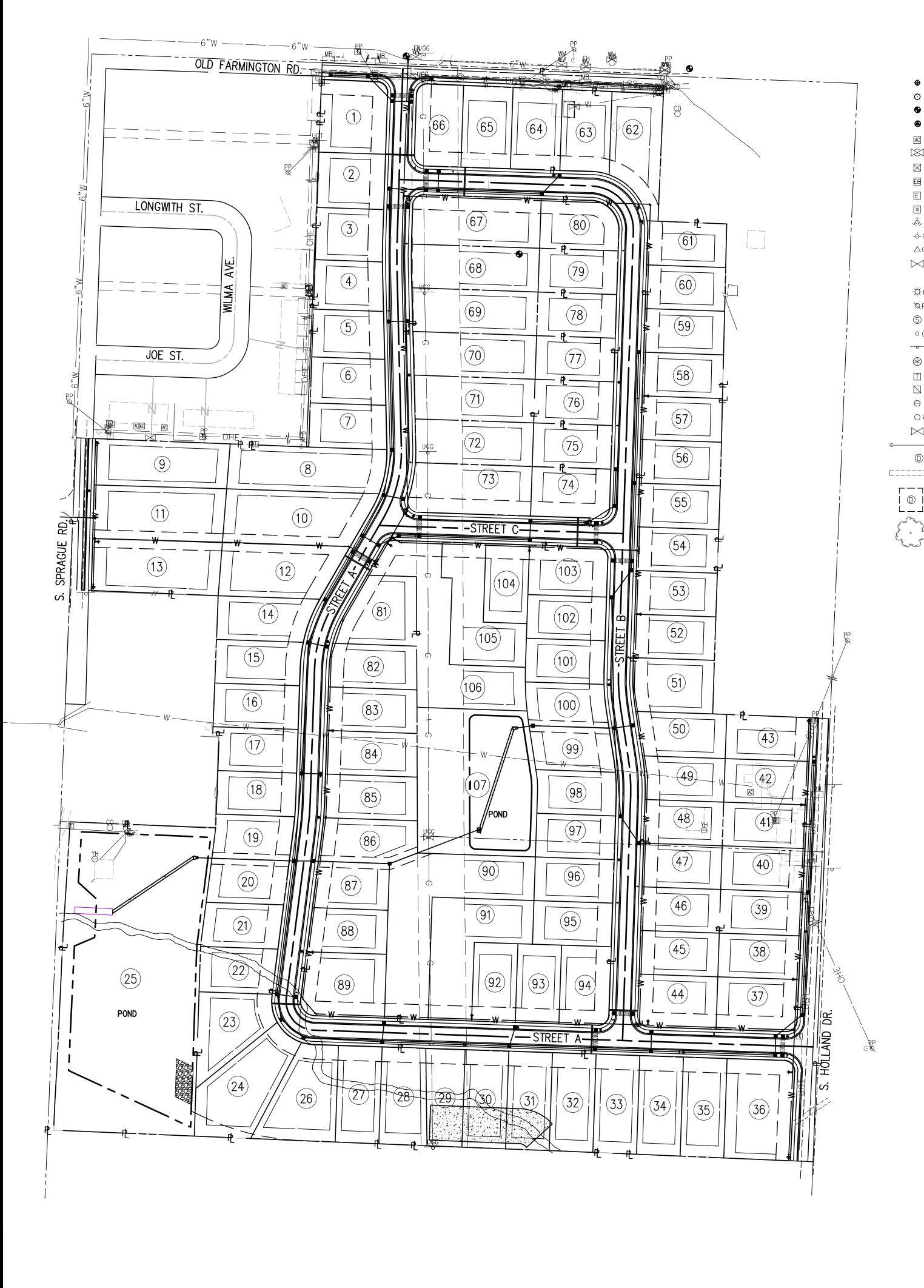
This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.

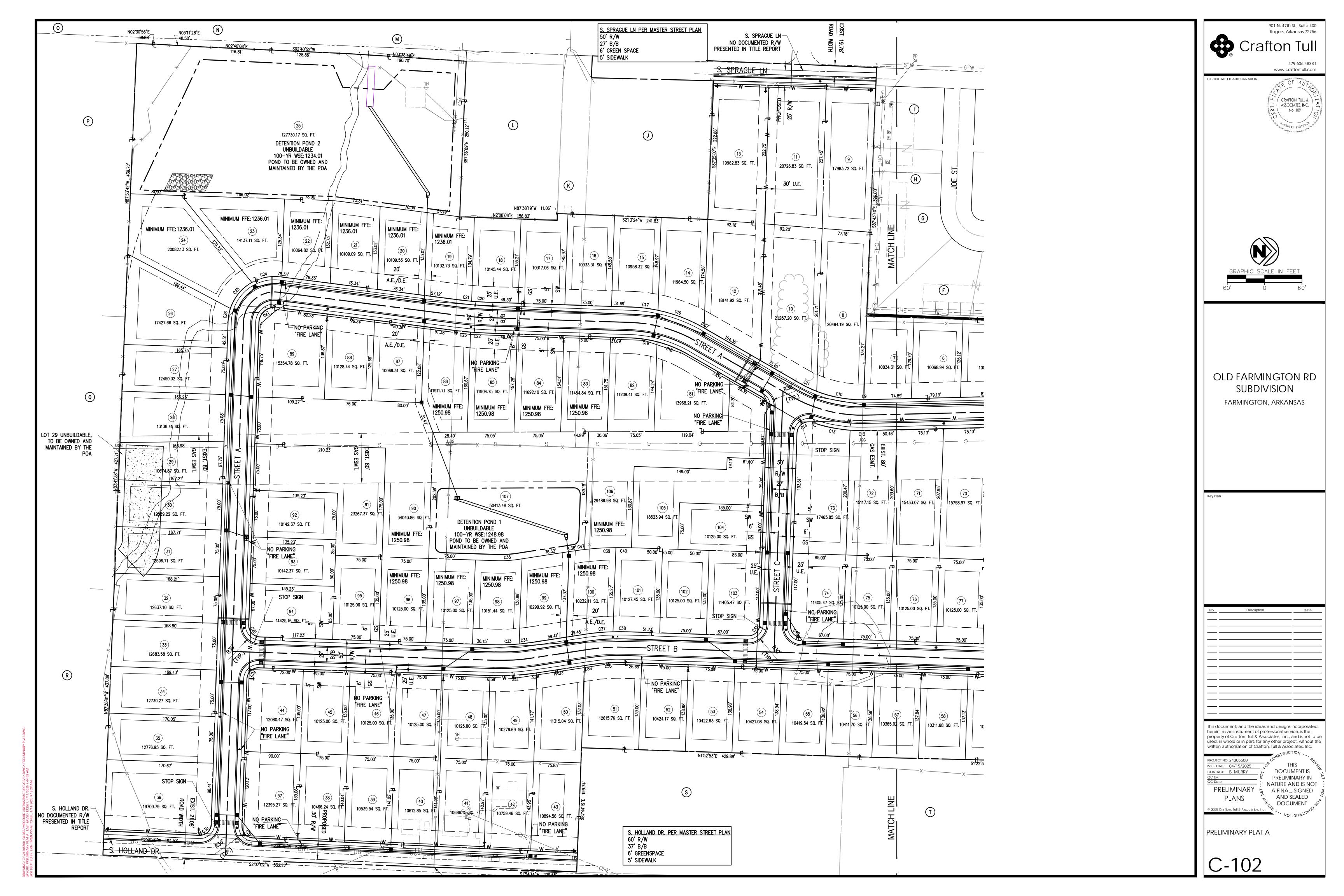
PROJECT NO: 24305500 ISSUE DATE: 04/15/2025 CONTACT: B. MURRY PRELIMINARY PLANS

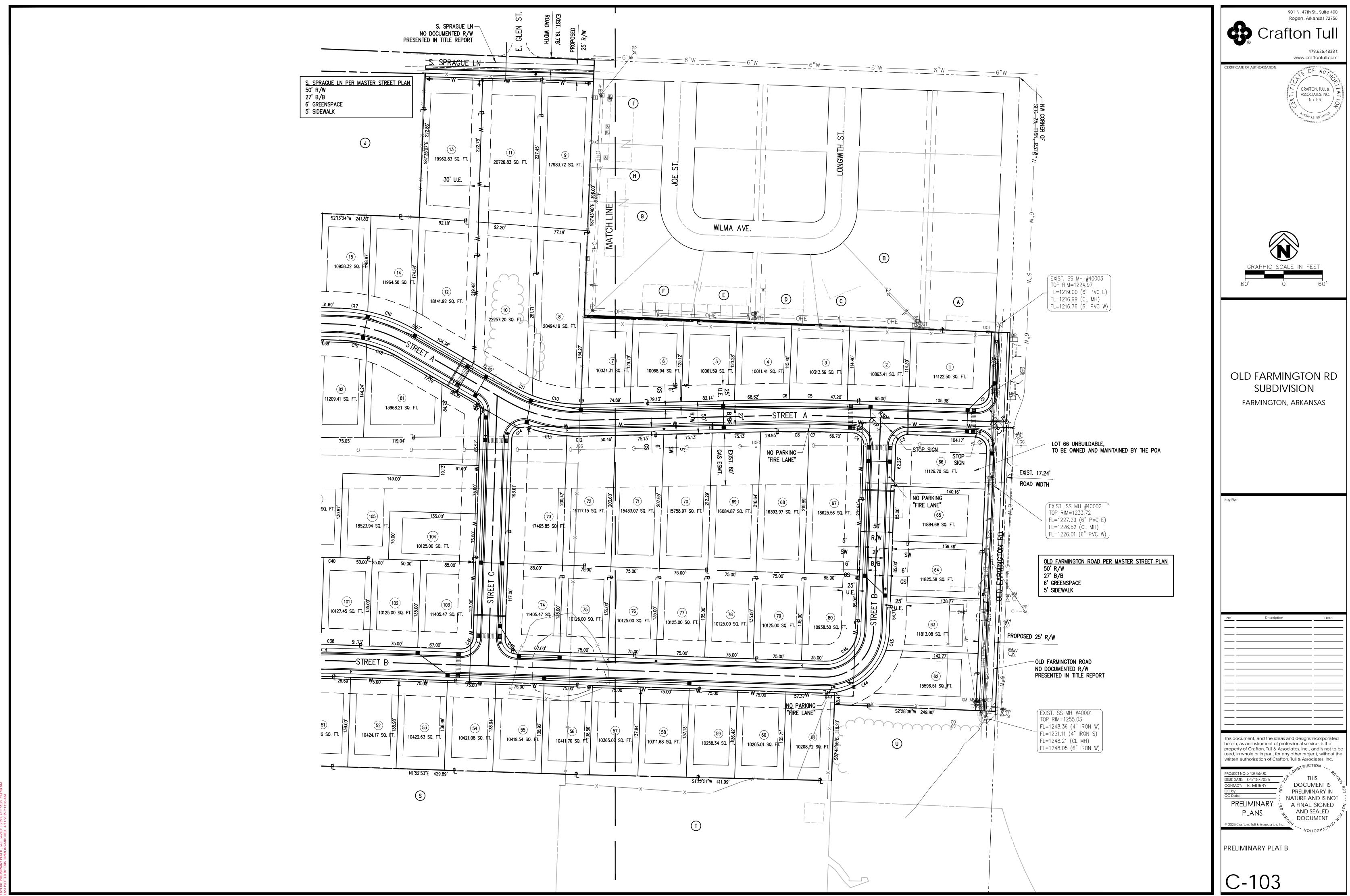
DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT 2025 Crafton, Tull & Associates, Inc

OVERALL PRELIMINARY PLAT

C-101







PARCEL AREA TABLE		
PARCEL #	AREA	
1	14122.50	
2	10863.41	
3	10313.56	
4	10011.41	
5	10061.59	
6	10068.94	
7	10034.31	
8	20494.19	
9	17983.72	
10	22257.20	
11	20726.83	
12	18141.92	
13	19962.83	
14	11964.50	
15	10958.32	
16	10933.31	
17	10317.06	
18	10145.44	
19	10132.73	
20	10109.53	

PARCEL A	AREA TABLE
PARCEL #	AREA
21	10109.09
22	10064.82
23	14137.11
24	20082.13
25	127730.17
26	17427.66
27	12450.32
28	13139.41
29	10674.87
30	12559.22
31	12596.71
32	12637.10
33	12683.58
34	12730.27
35	12776.95
36	19700.79
37	12395.27
38	10466.24
39	10539.54
40	10612.85

DAROEL "	1.55.
PARCEL #	AREA
41	10686.15
42	10759.46
43	10894.56
44	12080.47
45	10125.00
46	10125.00
47	10125.00
48	10125.00
49	10279.69
50	11315.04
51	12615.76
52	10424.17
53	10422.63
54	10421.08
55	10419.54
56	10411.70
57	10365.02
58	10311.68
59	10258.34
60	10205.01

PARCEL AREA TABLE		
PARCEL #	AREA	
61	10208.72	
62	15596.51	
63	11813.08	
64	11825.38	
65	11884.68	
66	11126.70	
67	18625.56	
68	16393.97	
69	16084.87	
70	15758.97	
71	15433.07	
72	15117.15	
73	17465.85	
74	11405.47	
75	10125.00	
76	10125.00	
77	10125.00	
78	10125.00	
79	10125.00	
80	10938.50	

PARCEL AR	REA TABLE
PARCEL #	AREA
81	13968.21
82	11209.41
83	11484.84
84	11692.10
85	11904.75
86	11911.71
87	10069.31
88	10128.44
89	15354.78
90	34043.86
91	23267.37
92	10142.37
93	10142.37
94	11425.16
95	10125.00
96	10125.00
97	10125.00
98	10151.44
99	10299.92
100	10232.11

REA TABLE
AREA
10127.45
10125.00
11405.47
10125.00
18523.94
29486.98
50413.48

		(CURVE TA	ABLE	
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	28.91'	18.50'	89°31'34"	N42° 50′ 20″W	26.05'
C2	29.21'	18.50'	90°28'01"	S47° 09' 28"W	26.27
C3	28.27	18.00'	90°00'00"	S43° 04' 33"E	25.46'
C4	28.27	18.00'	90°00'00"	S46° 55' 27"W	25.46
C5	42.81'	1025.00'	2°23'35"	S0° 43' 40"W	42.81'
C6	16.51'	1025.00'	0°55'23"	S0° 55' 49"E	16.51'
C7	10.30'	975.00'	0*36'18"	S1° 37' 18"W	10.30'
C8	46.13'	975.00'	2*42'39"	S0° 02' 11"E	46.13'
C9	1.23'	200.00'	0°21'13"	N1° 12' 54"W	1.23'
C10	77.54'	200.00'	2212'51"	N10° 04' 08"E	77.06'
C11	30.85'	200.00'	8*50'18"	N25° 35' 42"E	30.82'
C12	24.63'	250.00'	5°38'45"	N1° 25' 52"E	24.62
C13	62.85'	250.00'	14°24'13"	N11° 27' 21"E	62.68'
C14	33.53'	18.00'	106°44'01"	S34° 42' 33"E	28.89'
C15	19.45'	18.00'	61°54'36"	S60° 58' 09"W	18.52'
C16	79.04'	250.00'	18°06'51"	S20° 57' 25"W	78.71'
C17	43.53'	250.00'	9 ° 58 ' 32 "	S6° 54' 43"W	43.47'
C18	54.40'	200.00'	15°35'03"	S22° 13′ 19"W	54.23'
C19	43.65'	200.00'	12°30'21"	S8° 10' 37"W	43.57 '
C20	25.71'	475.00'	3°06'03"	N3° 28' 30"E	25.70'

		(CURVE T	ABLE	
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C21	19.19'	475.00'	218'53"	N6° 10' 58"E	19.19'
C22	25.71'	525.00'	2*48'20"	S3* 19' 37"W	25.71'
C23	23.92'	525.00'	2*36'37"	S6* 02' 06"W	23.92'
C24	47.90'	75.00'	36 ° 35'37"	S10° 57′ 24″E	47.09'
C25	55.60'	75.00'	42*28'38"	S50° 29' 32"E	54.34'
C26	21.40'	75.00'	16 ° 20'42"	S79° 54' 12"E	21.32'
C27	41.63'	25.00'	95*24'57"	S40° 22' 04"E	36.99'
C28	28.27	18.00'	90'00'00"	N46° 55' 27"E	25.46'
C29	28.27	18.00'	90°00'00"	S43° 04' 33"E	25.46'
C30	28.51'	18.00'	90°44'48"	N42° 42' 09"W	25.62'
C31	28.04	18.00'	8975'12"	N47° 17' 51"E	25.29'
C32	65.08'	350.00'	10*39'12"	N3° 24' 09"W	64.98'
C33	38.95'	300.00'	7*26'23"	N1° 47' 45"W	38.93'
C34	16.83'	300.00'	312'49"	N7° 07' 21"W	16.82'
C35	30.68'	165.00'	10*39'12"	S3° 24' 09"E	30.64'
C36	55.78'	300.00'	10*39'12"	S3° 24' 09"E	55.70'
C37	46.45	375.00'	7*05'47"	S5° 10' 52"E	46.42'
C38	23.28'	375.00'	3*33'26"	S0* 08' 44"W	23.28'
C39	50.25	485.00'	5*56'10"	S3° 31' 05"E	50.23'
C40	20.94'	485.00'	2*28'26"	S0° 41' 14"W	20.94

	(CURVE T	ABLE				(CURVE T	ABLE	
NGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH	CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
9.19'	475.00'	218'53"	N6° 10' 58"E	19.19'	C41	28.27	18.00'	90'00'00"	N43° 04' 33"W	25.46'
5.71'	525.00'	2*48'20"	S3° 19' 37"W	25.71'	C42	28.27	18.00'	90°00'00"	N46° 55' 27"E	25.46'
3.92'	525.00'	2*36'37"	S6° 02' 06"W	23.92'	C43	18.43'	100.00'	10°33'38"	N3° 21' 22"W	18.41'
7.90'	75.00'	36°35'37"	S10° 57' 24"E	47.09'	C44	107.87	100.00'	61 ° 48'16"	N39° 32' 19"W	102.72'
5.60'	75.00'	42°28'38"	S50° 29' 32"E	54.34'	C45	30.78'	100.00'	17*38'06"	N79° 15' 30"W	30.66
1.40'	75.00'	16 ° 20 ' 42"	S79° 54' 12"E	21.32'	C46	78.54'	50.00'	90°00'00"	N43° 04' 33"W	70.71'
1.63'	25.00'	95°24'57"	S40° 22' 04"E	36.99'	C47	18.99'	485.00'	214'36"	S7° 36′ 27″E	18.99'
8.27'	18.00'	90°00'00"	N46° 55' 27"E	25.46						
8.27'	18.00'	90°00'00"	S43° 04' 33"E	25.46'						
8.51'	18.00'	90°44'48"	N42° 42' 09"W	25.62'						
8.04'	18.00'	89¶5'12"	N47° 17' 51"E	25.29'						
5.08'	350.00'	10°39'12"	N3° 24' 09"W	64.98'						
8.95'	300.00'	7*26'23"	N1° 47′ 45″W	38.93'						
6.83'	300.00'	312'49"	N7° 07' 21"W	16.82'						
0.68'	165.00'	10°39'12"	S3° 24' 09"E	30.64'						

		ADJACENT PROPERTY	OWNERS	
NUMBER	PARCEL ID	OWNER	OWNER ADDRESS	ZONING
Α	760-01646-000	CRYSTAL HARMON	227 E. OLD FARMINGTON RD, FARMINGTON, AR 72730	R-2
В	760-01696-000	BRADY ALLEN	PO BOX 531 PRAIRIE GROVE, AR 72753	R-2
С	760-01697-000	WILLIAM PATRIC MOORE,II & BONNIE MAE MOORE	3504 N. SANDPIPER DR, FAYETTEVILLE, AR 72701	R-2
D	760-01698-000	YOOM DANG	6309 S 44TH PL, ROGER, AR 72758	R-2
E	760-01699-000	WILMA PROPERTIES, LLC	122 N "C" ST., ROGERS, AR 72756	R-2
F	760-01700-000	WILMA PROPERTIES, LLC	122 N "C" ST., ROGERS, AR 72756	R-2
G	760-01701-000	VENKATA, LLC	12571 BELMEADE DR., FRISCO, TX 75035	R-2
Н	760-01702-000	VENKATA, LLC	12571 BELMEADE DR., FRISCO, TX 75035	R-2
1	760-01703-000	KBRB, LLC	PO BOX 9046, FAYETTEVILLE, AR 72703	R-2
J	760-01433-220	MCFATRICH FAMILY TRUST	80 S. SPRAGUE LN, FARMINGTON, AR 72730	R-1
К	760-02974-001	MCFATRICH FAMILY TRUST	80 S. SPRAGUE LN, FARMINGTON, AR 72730	R-1
L	760-02975-000	DAVIDSON, JOSIAH & EMILY	100 S. SPRAGUE LN, FARMINGTON, AR 72730	R-1
М	760-02999-000	JONES, JIMMY H	107 S. SPRAGUE LN, FARMINGTON, AR 72730	R-1
N	760-03004-000	SANDERS, JERRY M & GAIL	178 WOLFDALE RD, FARMINGTON, AR 72730	R-1
0	760-03007-000	SANDERS, JERRY M & GAIL	178 WOLFDALE RD, FARMINGTON, AR 72730	R-1
Р	760-02980-000	DIFFIN, SARAH L TRUST; SCHOEN, SARAH E TRUST	246 WOLFDALE RD, FARMINGTON, AR 72730	R-1
Q	760-02978-000	DIFFIN, SARAH L TRUST; SCHOEN, SARAH E TRUST	246 WOLFDALE RD, FARMINGTON, AR 72730	R-1
R	760-02977-000	LABRA, LORENZO	145 S. HOLLAND RD, FARMINGTON, AR 72730	R-1
S	760-02969-000	JEFFREY A BERGER	71 S. HOLLAND DR, FARMINGTON, AR 72730	R-1

25 S. HOLLAND DR, FARMINGTON, AR 72730

12524 ROSE CEMETRY RD, PRAIRIE GROVE, AR 72753

R-1

R-1

HASBROUCK FAMILY TRUST

WESLEY DAVIS

760-02972-001

760-02973-000



CERTIFICATE OF AUTHORIZATION:

CURVE TABLE



OLD FARMINGTON RD SUBDIVISION Farmington, Arkansas

This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.

PROJECT NO: 24305500

ISSUE DATE: 04/15/2025

CONTACT: B. MURRY

QC by:
QC Date: PRELIMINARY 🚊 PLAN\$

DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT $^{\odot}$ 2025 C ra fton, Tull & A ssocia te s, Inc .

PRELIMINARY PLAT TABLES

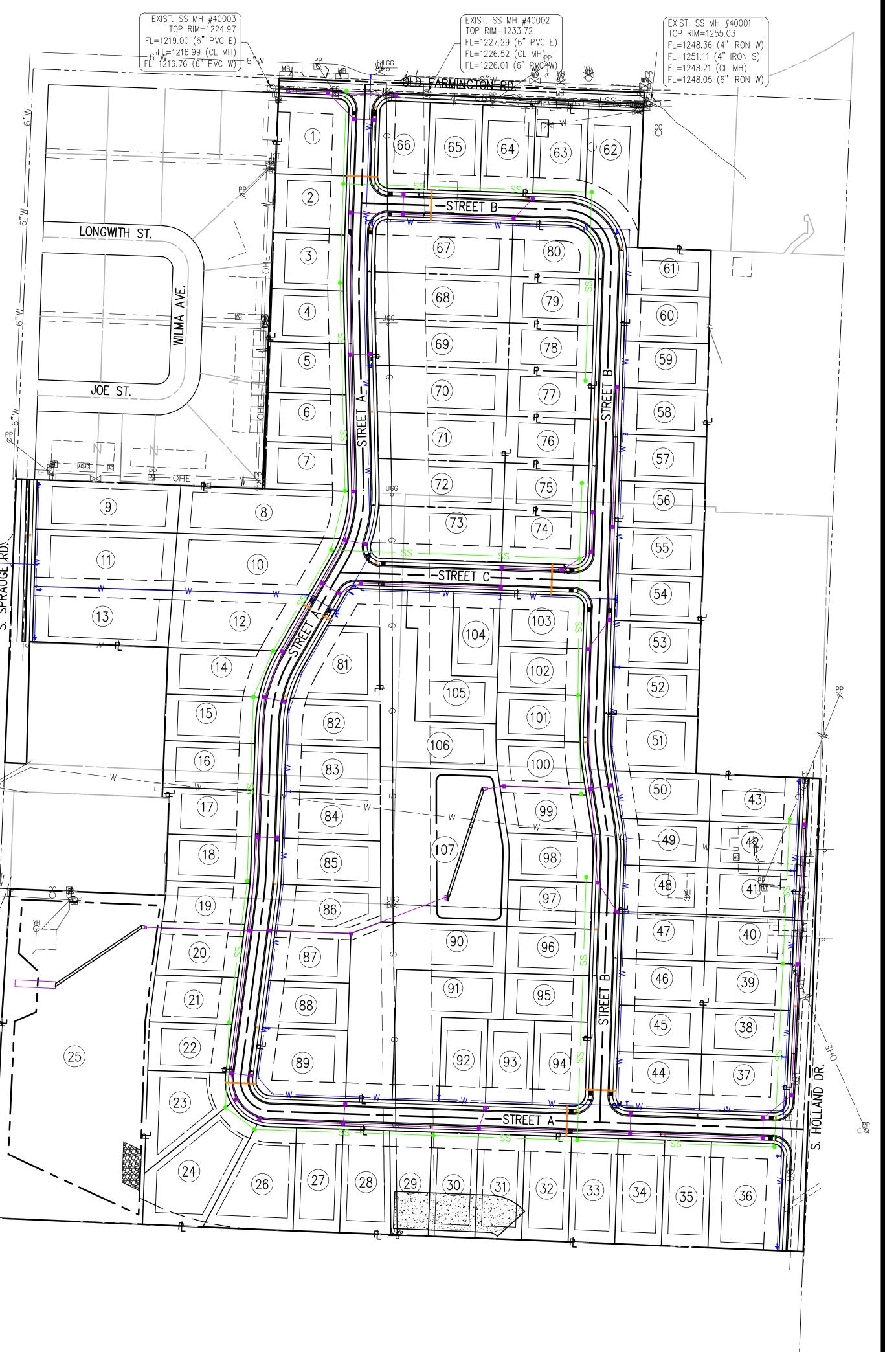
C-104

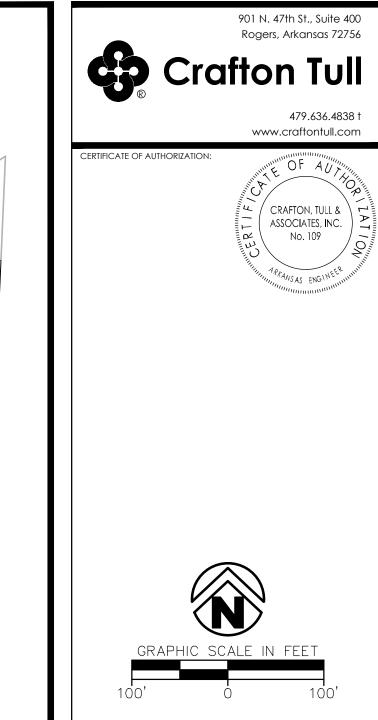
- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND. WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES
- WITHIN THE WORK ZONE. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING
- ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.

FACILITIES. CONTRACTOR SHALL COORDINATE AND SCHEDULE TIE-INS/CONNECTIONS WITH ALL UTILITY COMPANIES.

- GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES. THRUST BLOCKING SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- MINIMUM HORIZONTAL SEPARATION BETWEEN THE OUTSIDE WALL OF THE WATERLINE AND THE OUTSIDE WALL OF THE SANITARY SEWER LINE OR SANITARY SEWER MANHOLE SHALL BE AT LEAST TEN FEET. WHERE WATERLINES CROSS SANITARY SEWERS THE WATERLINE SHALL BE PLACED ABOVE THE SEWER WITH A MINIMUM VERTICAL SEPARATION, OUTSIDE-TO-OUTSIDE, OF 18". IF IT IS NOT POSSIBLE TO CONFORM TO THESE DIMENSIONS OR DEFINED PLACEMENT, THE WATERLINE SHALL BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING.
- THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE
- WATER AND SEWER LINES REQUIRED BY THE LOCAL AND/OR STATE AGENCIES. 10. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH FINISHED PAVEMENT ELEVATIONS, AND MANHOLES IN UNPAVED AREAS TO BE 1" ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL REGULATIONS. REFER TO BUILDING PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- 13. ALL MATERIALS, CONSTRUCTION, AND INSPECTION FOR WATER AND SANITARY SEWER LINES SHALL BE PER THE SPECIFICATIONS OF THE APPROPRIATE AGENCY.
- 14. THE CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND THE WATER COMPANY TO PLAN THE IMPROVEMENTS TO THE WATER MAINS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THE PROJECT. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE WATER COMPANY DURING CONSTRUCTION. ALL COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR; NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- DAMAGE TO ALL EXISTING FACILITIES DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. 16. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES. SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE
- 17. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED AS WELL AS COSTS OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- 18. GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUITS AS SHOWN ON THE PLANS, VERIFY LOCATION OF UTILITY TIE-INS, AND PROVIDE NYLON PULL CORDS INSIDE THE CONDUIT.
- 19. THE CONTRACTOR SHALL INCLUDE IN BID PRICE THE DAILY RECORD KEEPING OF THE RECORD CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKE-OUT, PREPARATION OF THE NECESSARY/REQUIRED WATER AND SEWER RECORD DRAWINGS TO BE SUBMITTED, AND ALL OTHER INFORMATION REQUIRED FOR OBTAINING PERMITS AND RELEASE
- 20. CONTRACTOR SHALL PROVIDE IN-DITCH AS-BUILT INFORMATION TO ENGINEER AS REQUIRED BY LOCAL UTILITY **PROVIDERS**
- ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED NOTICES: ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL. INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.

______ SS ____ SS ____





OLD FARMINGTON RD SUBDIVISION FARMINGTON, ARKANSAS

herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.

PROJECT NO: 24305500 SSUE DATE: 04/15/2025 PRELIMINARY PLANS

DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT

OVERALL UTILITY PLAN

C-105

(LEGEND (CONSTRUCT)

LINEWORK

BUILDING SET BACK

RIGHT OF WAY

PROPERTY LINE

ROAD CENTERLINE

SET IRON PIN LIGHT POLE POWER POLE TELEPHONE PEDESTAL

SYMBOLS

TV PEDESTAL MANHOLE SANITARY SEWER CLEANOUT GAS METER

GAS VALVE STORM SEWER PIPE STRUCTURE NUMBER WATER VALVE FIRE HYDRANT ASSEMBLY

> AIR RELEASE VALVE FIRE DEPARTMENT CONNECTION WATER METER BACK FLOW PREVENTER REDUCER

RECTANGULAR DROP INLET. GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN

CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN

EASEMENT CURB INTERMEDIATE CONTOUR INDEX CONTOUR SANITARY SEWER LINE GAS LINE WATER LINE UNDERGROUND TELEPHONE UNDERGROUND ELECTRIC OVERHEAD ELECTRIC FIBER OPTIC UNDERGROUND TELEVISION CHAIN LINK FENCE WOOD FENCE BARBED WIRE FENCE

ELECTRIC BOX/PEDESTAL ELECTRIC JUNCTION BOX ELECTRIC METER ELECTRIC TRANSFORMER FIRE DEPARTMENT CONNECTION FIRE HYDRANT GAS METER GAS VALVE GUARD POST LIGHT POLE SIGN

<u>SYMBOLS</u>

BENCHMARK

FOUND IRON PIPE/REBAR

FOUND MONUMENT/ROW

AIR CONDITIONER

AIR RELEASE VALVE

PRIMARY CONTROL/SET MONUMENT

POWER POLE SANITARY MANHOLE SANITARY SEWER CLEANOUT SPRINKLER HEAD TELEPHONE PEDESTAL

LEGEND (EXISTING SYMBOLS)

INTERMEDIATE CONTOUR

SANITARY SEWER LINE (SPECIFY SIZE & TYPE)

_____UGE _____

— — — OHTV — — OHTV —

WATER LINE (SPECIFY SIZE & TYPE)

UNDERGROUND TELEPHONE

UNDERGROUND ELECTRIC

UNDERGROUND TELEVISION

OVERHEAD TELEVISION

---CHAIN LINK FENCE

BARBED WIRE FENCE

WOOD FENCE

FIBER OPTIC

RIGHT OF WAY

ROAD CENTERLINE

OVERHEAD ELECTRIC

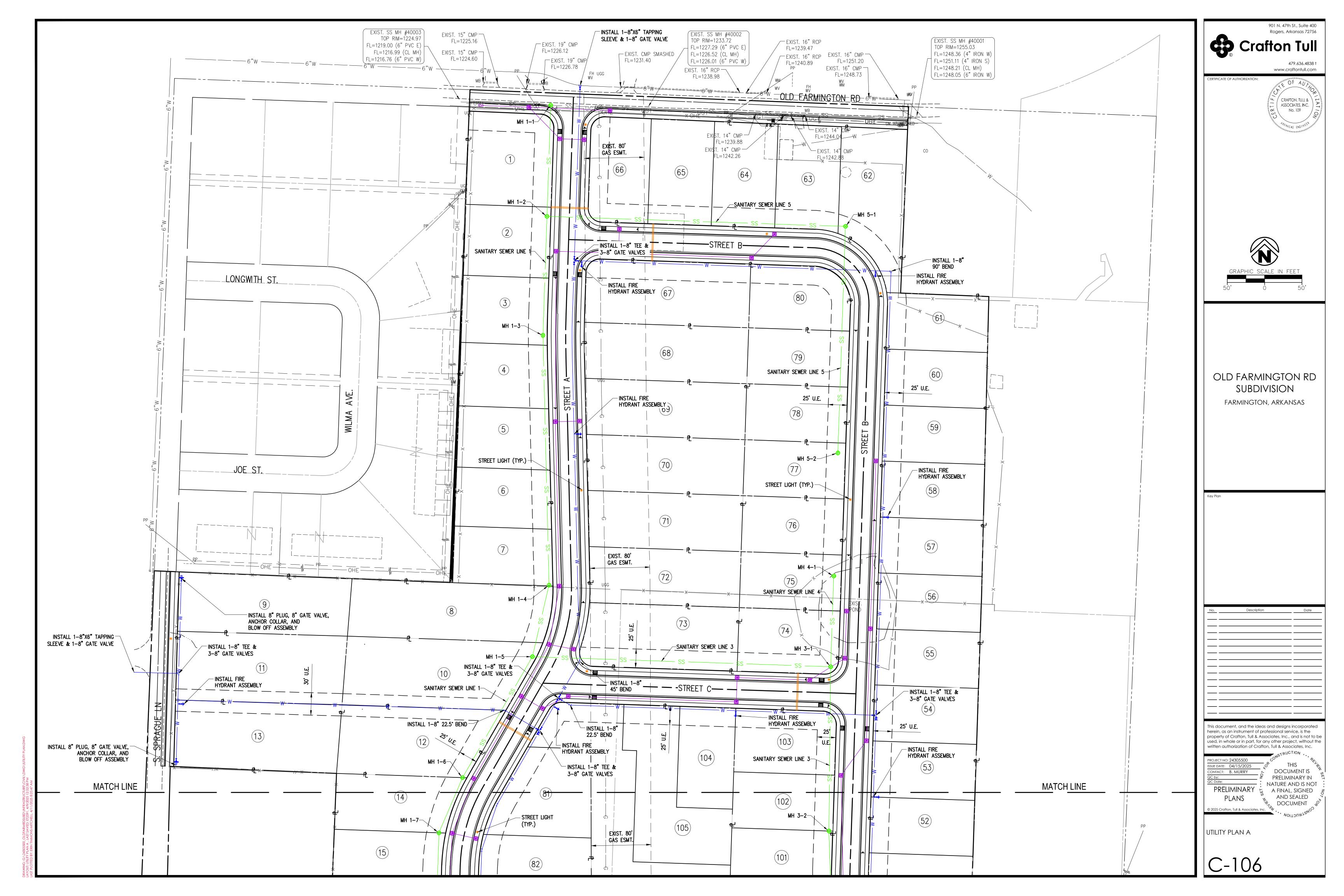
INDEX CONTOUR

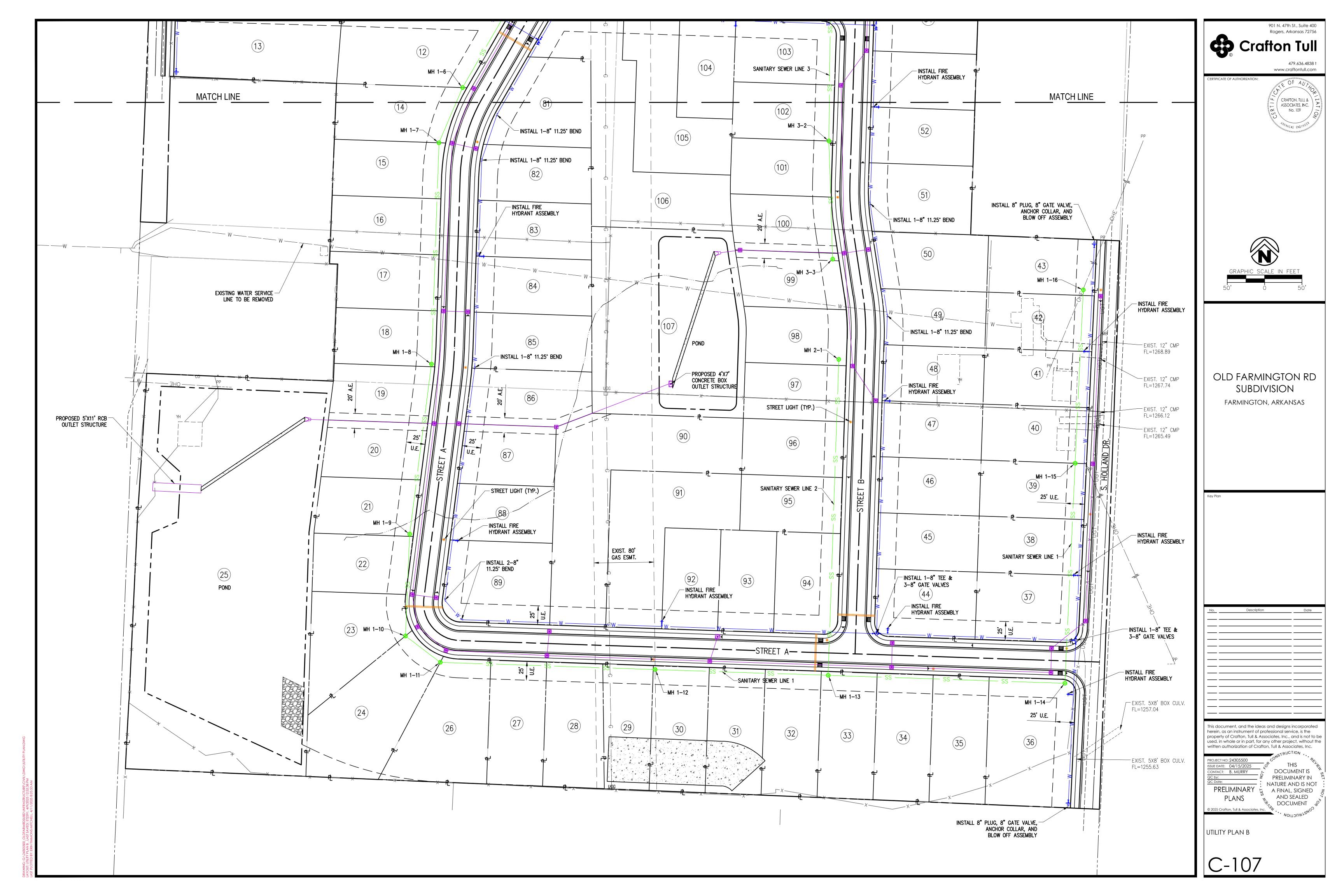
LINEWORK

EASEMENT

TV PEDESTAL WATER FAUCET WATER METER WATER VALVE DOWN GUY STORM SEWER MANHOLE

DROP/CURB INLET





LEGEND (CONSTRUCT)
SYMBOLS

LIGHT POLE

STORM SEWER PIPE

RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)

CIRCULAR DROP INLET,
GRATED INLET OR JUNCTION
BOX (SPECIFY ON PLAN
SHEET)

<u>LINEWORK</u>

CURB	
INTERMEDIATE CONTOUR	1206
INDEX CONTOUR	1205
RIGHT OF WAY	
PROPERTY LINE	
ROAD CENTERLINE	

SITE STABILIZATION AND CERTIFICATION

ROAD CENTERLINE

CRAFTON TULL CANNOT CERTIFY THE SITE AS COMPLETE IN ORDER TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.



GRADING AND DRAINAGE NOTES

1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC.,
GREATER THAN FORTY—EIGHT INCHES IN HEIGHT. SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.

GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
2. THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND PROVIDING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS, INSPECTIONS, AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL

ENGINEER OTHER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED AND NECESSARY PUBLIC SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, PEDESTRIAN SAFETY RAILS.

3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD

LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING START.

4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS, GEO—TECHNICAL REPORT, OR LOCAL JURISDICTION, WHICHEVER IS MORE RESTRICTIVE..
5. ALL CUT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR FLATTER UNLESS OTHERWISE NOTED.

6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.

7. ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR

INVERT FROM INVERT IN TO INVERT OUT.

ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY WHEN IN PAVED AND TRAFFIC AREAS.

9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE. LIDS

SHALL BE LABELED PER JURISDICTIONAL SPECIFICATIONS.

10. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

1. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN.

12. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON PLANS, CONTACT ENGINEER IMMEDIATELY.

13. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.

13. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BOILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.

14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT

UTILITY ENTRANCE LOCATIONS.

15. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS, GEO—TECHNICAL REPORT AND SPECIFICATIONS.

16. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

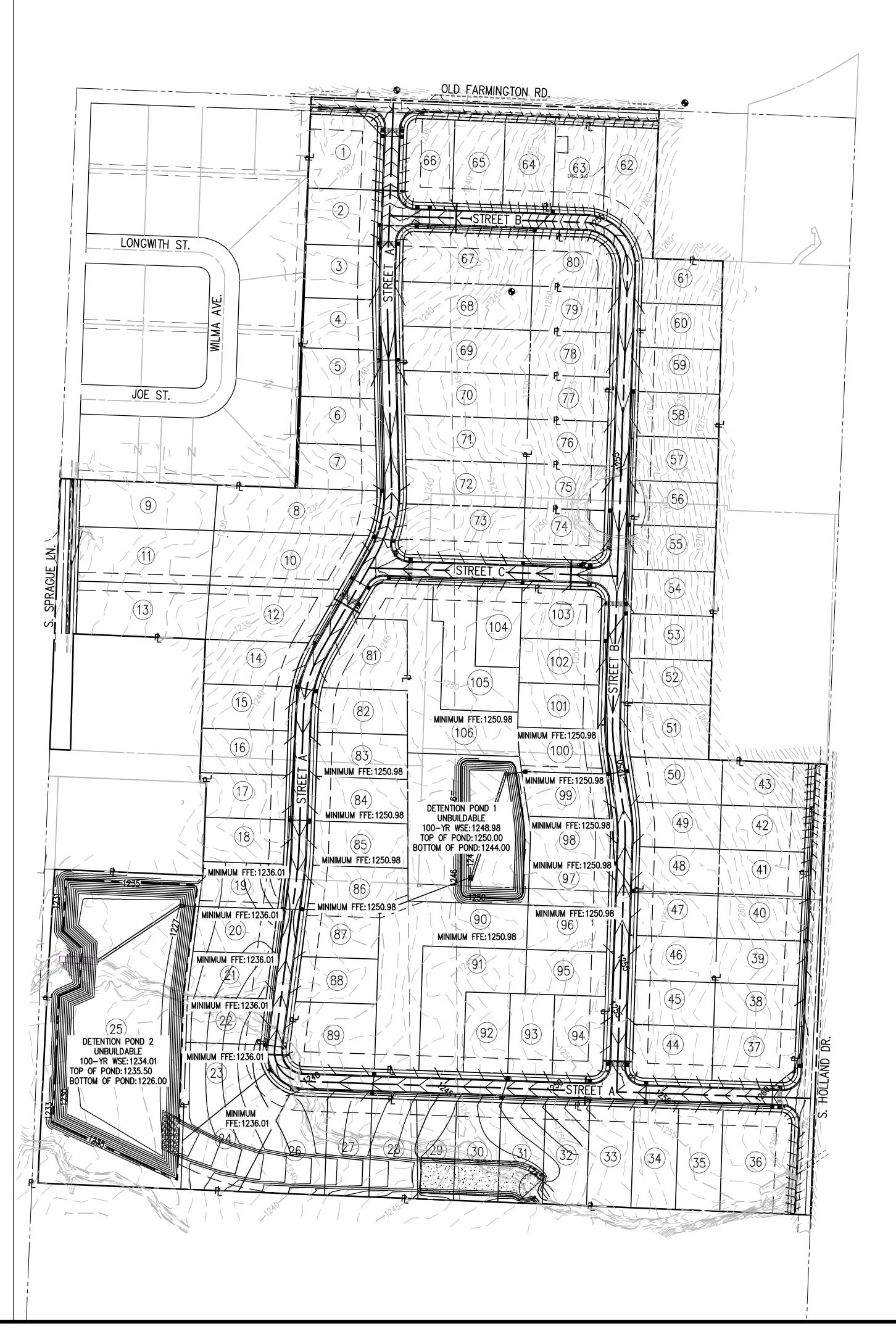
17. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.

18. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC

TO AND FROM THE SITE.

19. IF WET AREAS ARE ENCOUNTERED ON—SITE THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR THE DESIGN AND PLACEMENT OF A FRENCH DRAIN SYSTEM.

20. CRAFTON, TULL & ASSOCIATES, INC. (CTA) HAS NOT NECESSARILY ESTABLISHED MINIMUM FINISH FLOOR ELEVATIONS FOR EACH INDIVIDUAL BUILDING OR LOT IN THIS SUBDIVISION. WHEN A MINIMUM BUILDING FLOOR ELEVATION IS NOT ESTABLISHED AND NOTED, THE ULTIMATE RESPONSIBILITY FOR THE PROPER GRADING OF EACH INDIVIDUAL LOT OR PARCEL SHALL REST WITH THE LOT'S OWNER. TYPICALLY, THE MINIMUM FINISH FIRST FLOOR ELEVATIONS SHOULD BE AT LEAST TWELVE INCHES (12") ABOVE THE FINISHED TOP OF STREET CURB ELEVATION ASSOCIATED WITH EACH INDIVIDUAL LOT OR PARCEL OR AS REQUIRED BY LOCAL AND STATE CODES.



901 N. 47th St., Suite 400 Rogers, Arkansas 72756

www.craftontull.com

CRAFTON, TULL &

ASSOCIATES, INC. No. 109

OLD FARMINGTON RD

SUBDIVISION

FARMINGTON, ARKANSAS

This document, and the ideas and designs incorporated

property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the

DOCUMENT IS

PRELIMINARY IN

NATURE AND IS NOT

a final, signed

AND SEALED

DOCUMENT

herein, as an instrument of professional service, is the

written authorization of Crafton, Tull & Associates, Inc.

PROJECT NO: 24305500

SSUE DATE: 04/15/202

PRELIMINARY

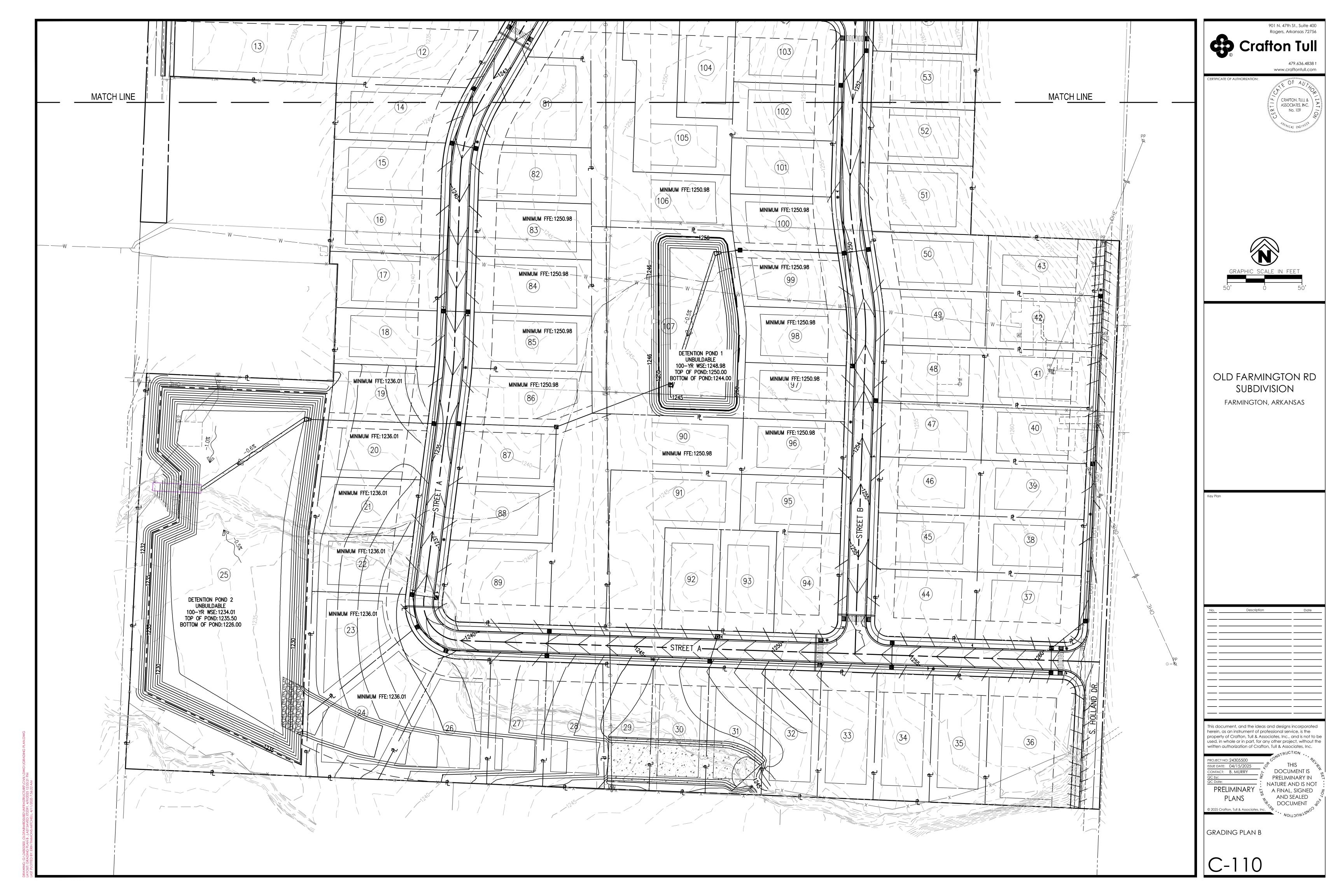
PLANS

C-108

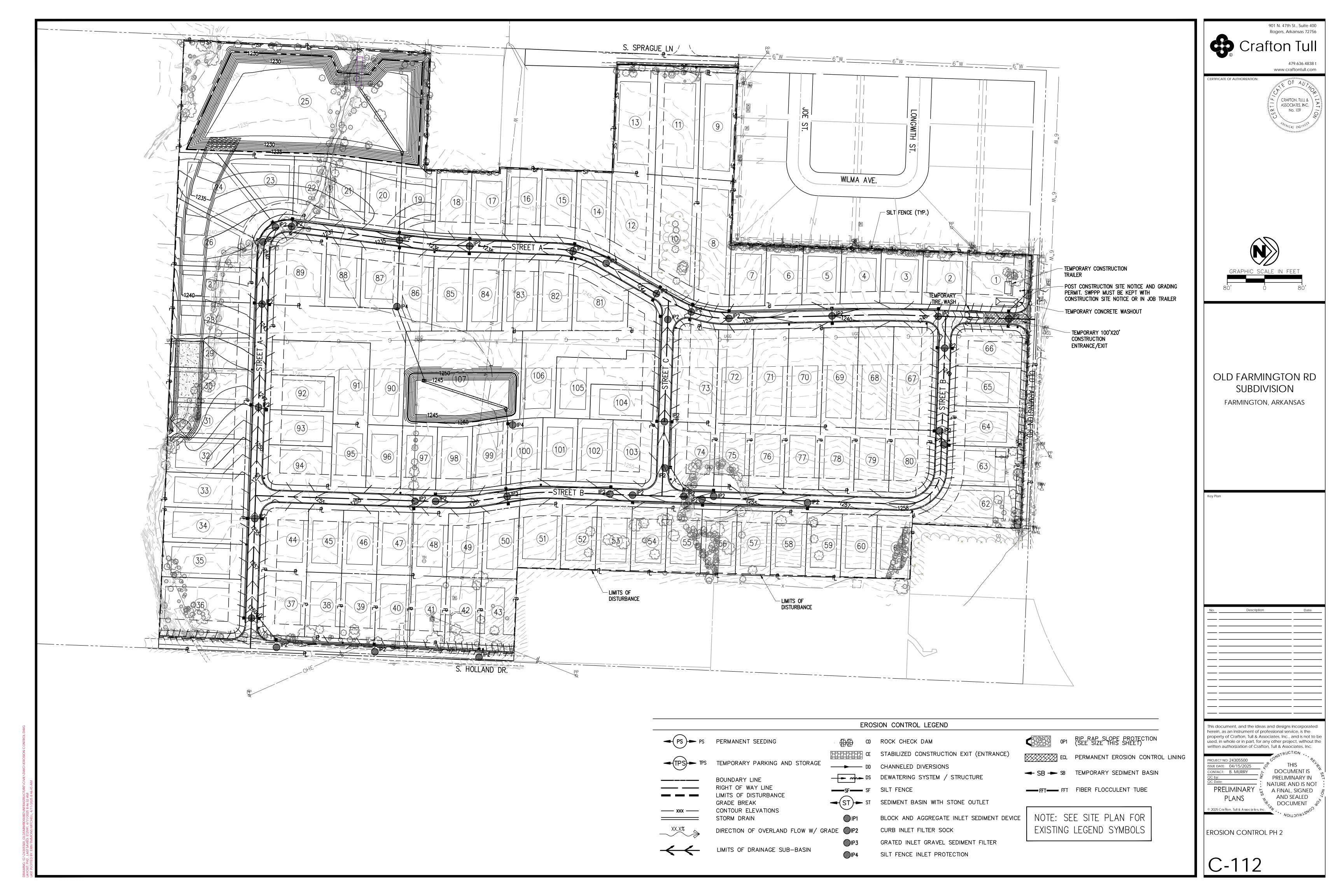
OVERALL GRADING PLAN

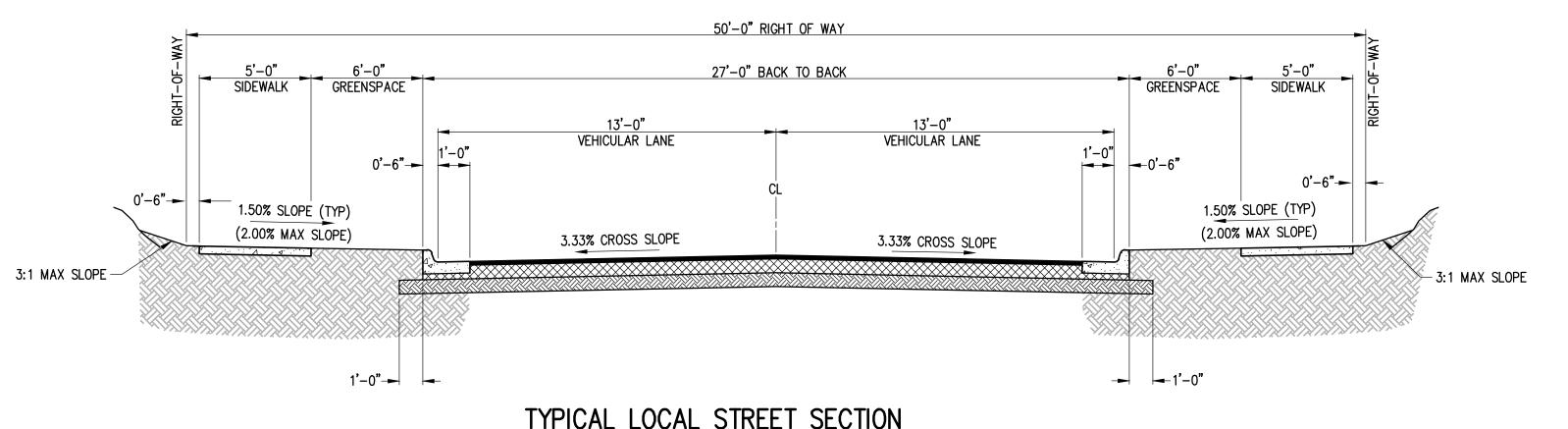
ERTIFICATE OF AUTHORIZATION



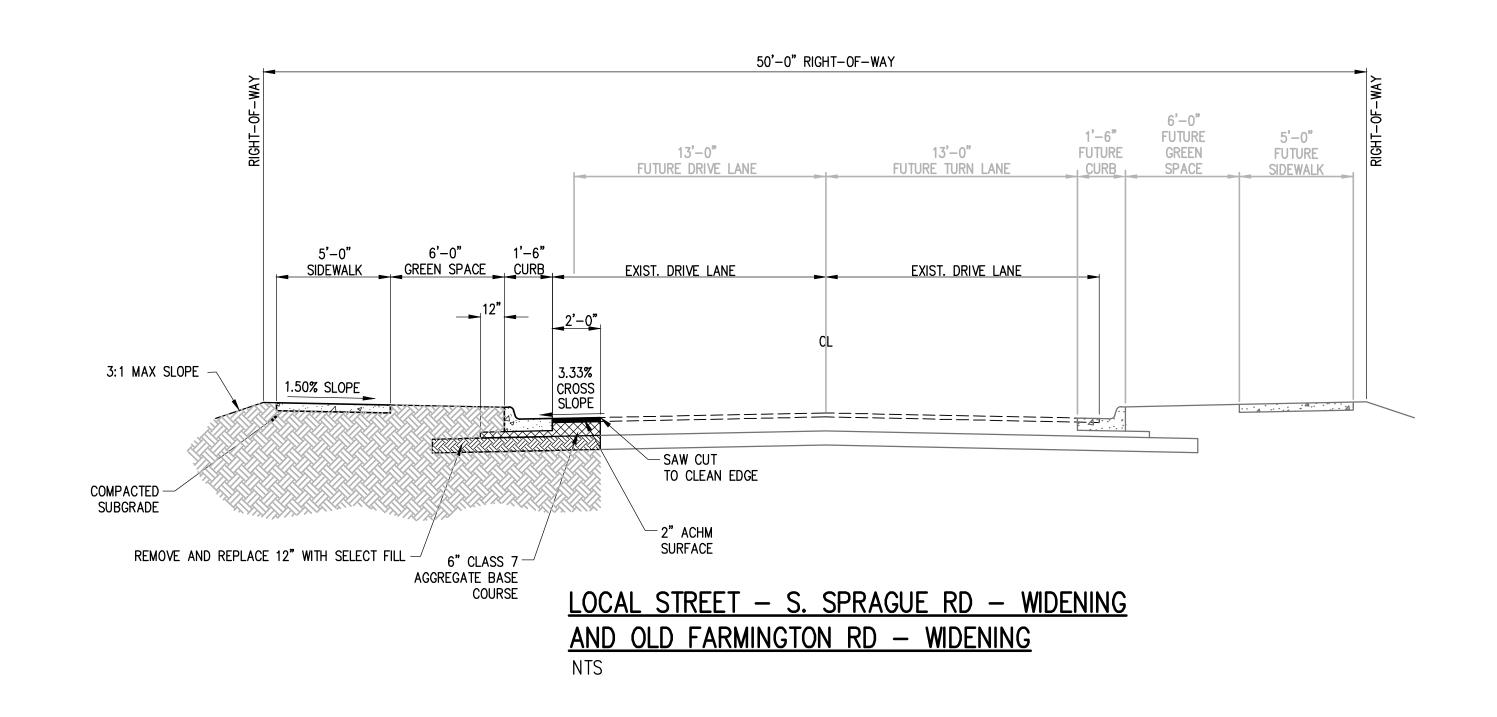


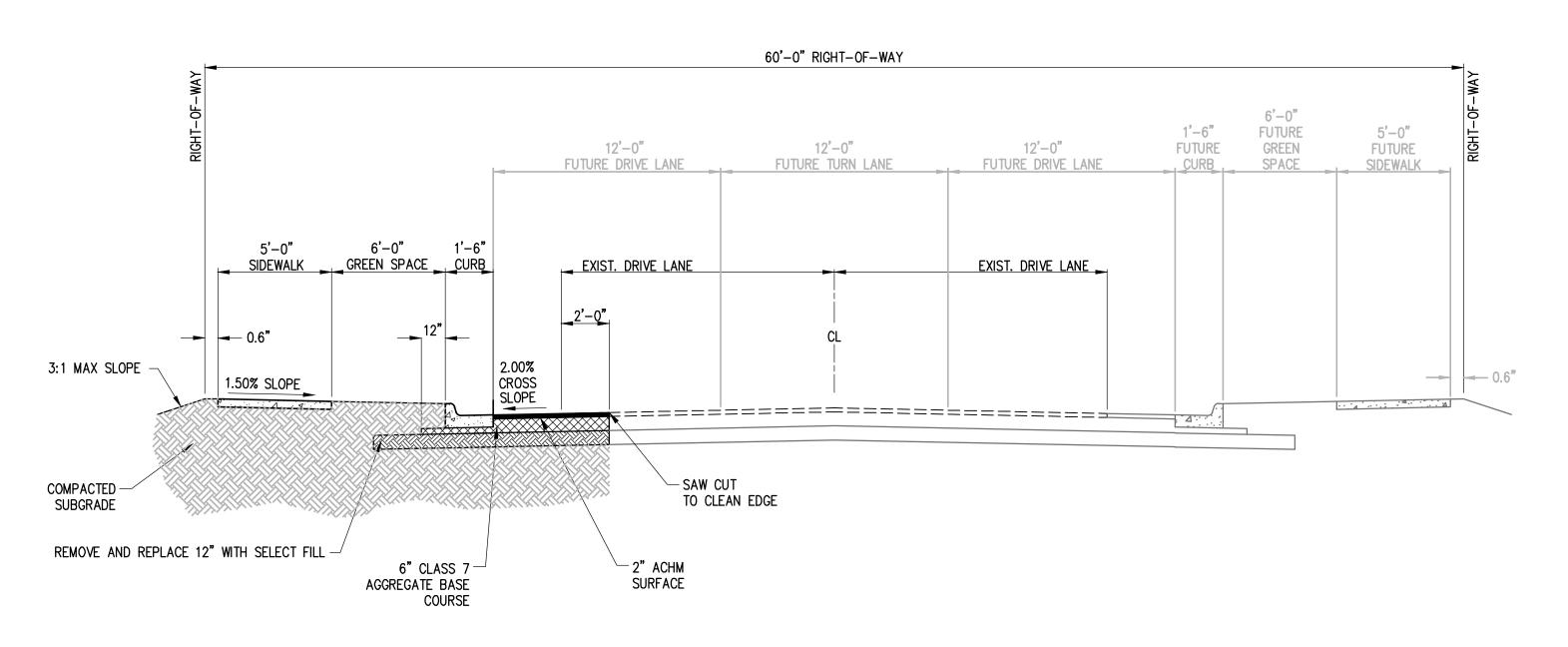












COLLECTOR STREET - S. HOLLAND DR. WIDENING

901 N. 47th St., Suite 400 Rogers, Arkansas 72756 www.craftontull.com CERTIFICATE OF AUTHORIZATION: CRAFTON, TULL & ASSOCIATES, INC.
No. 109 OLD FARMINGTON RD SUBDIVISION FARMINGTON, ARKANSAS

No.	Description	Date
		,
		
		
		
		
		-
	ent, and the ideas and desi	•
	n instrument of professional Crafton, Tull & Associates, Ir	

written authorization of Crafton, Tull & Associates, Inc.

PROJECT NO: 24305500

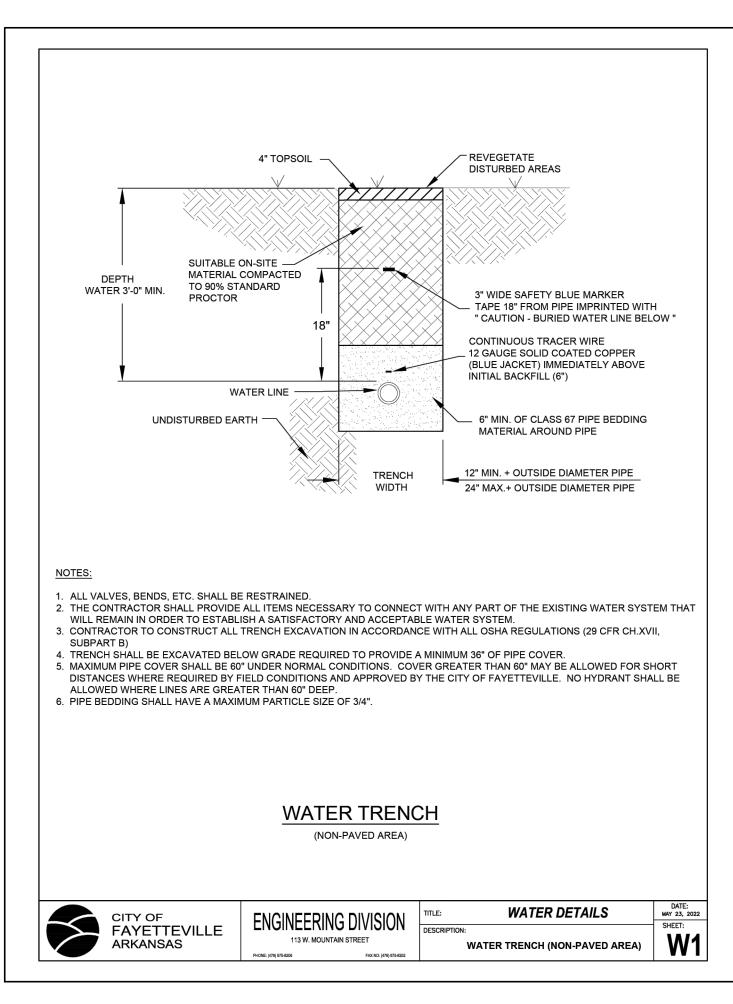
ISSUE DATE: 04/15/2025

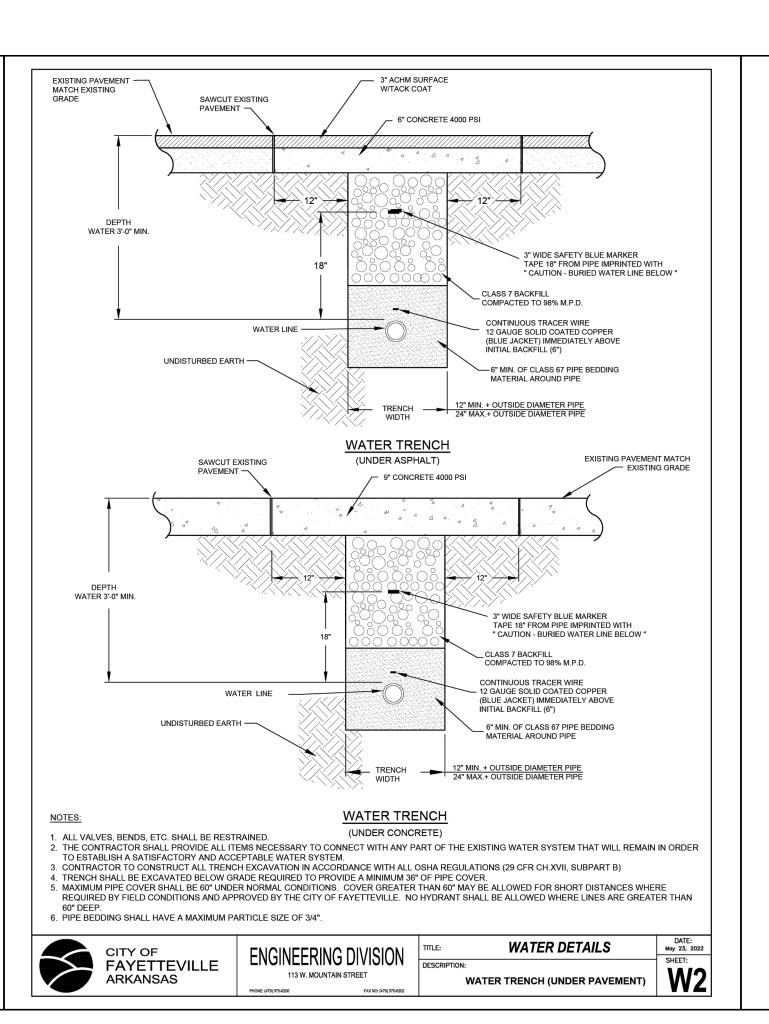
CONTACT: B. MURRY PRELIMINARY PLANS

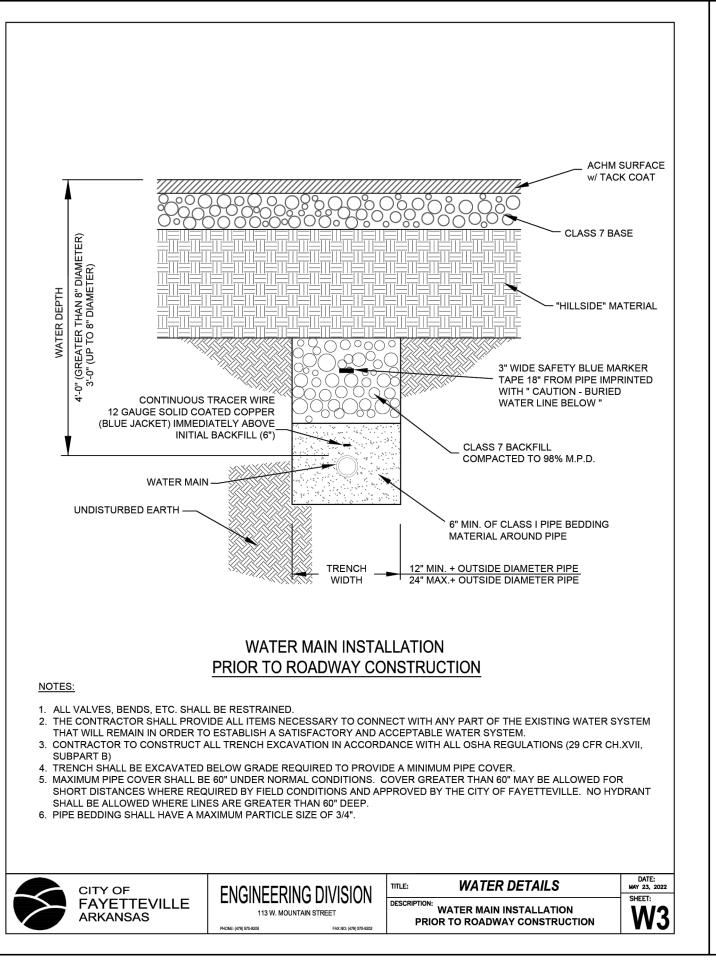
DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT © 2025 Crafton, Tull & Associates, Inc.

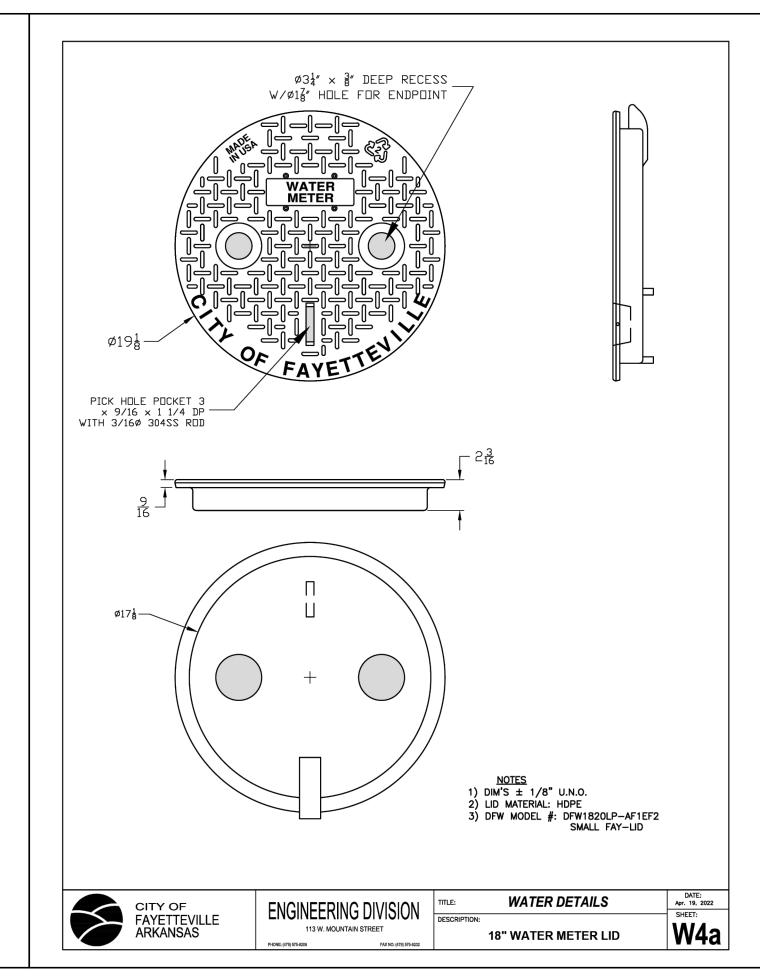
TYPICAL SECTIONS

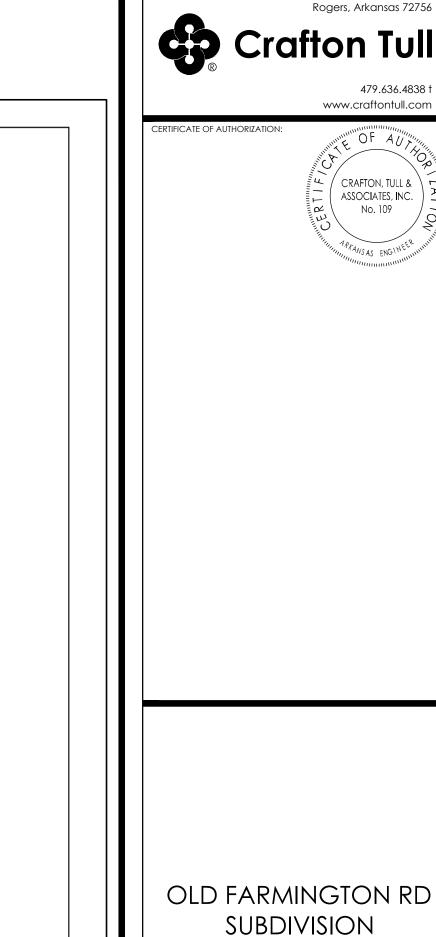
C-501



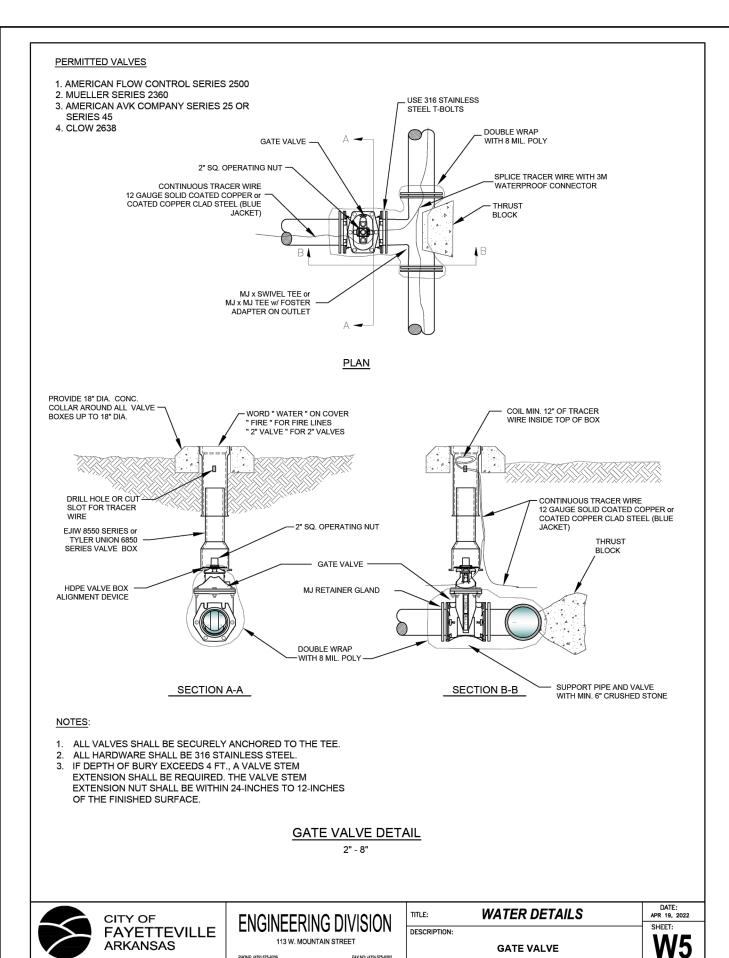


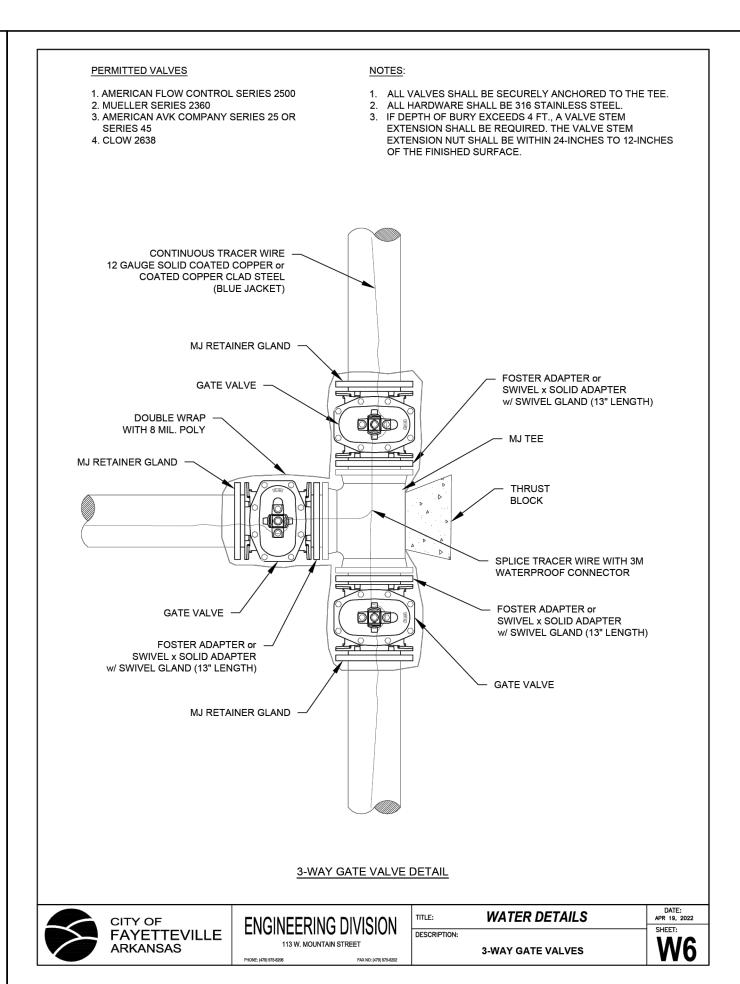


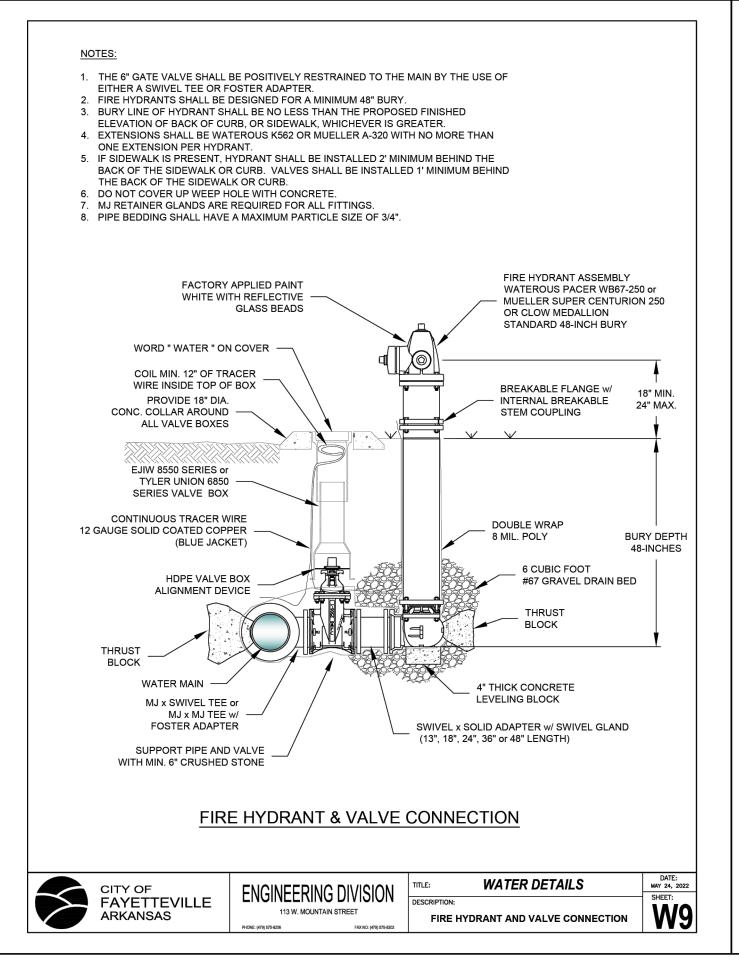


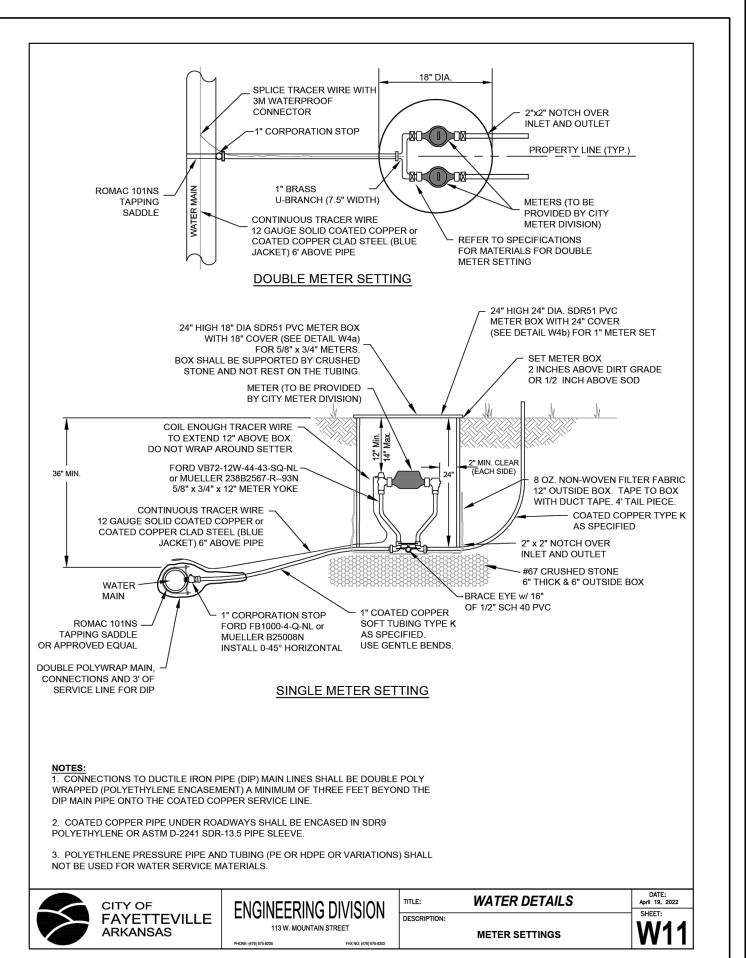


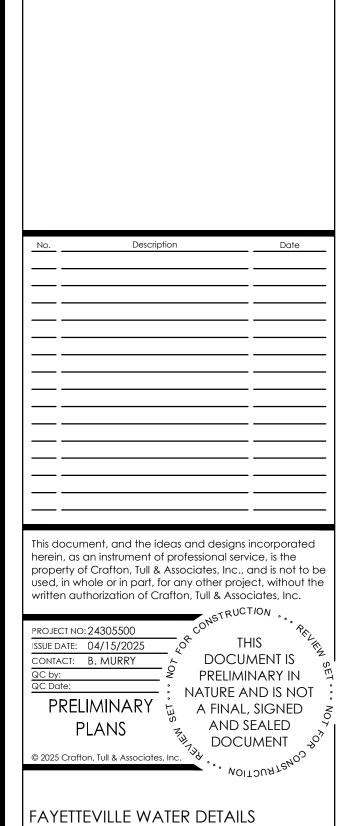
901 N. 47th St., Suite 400





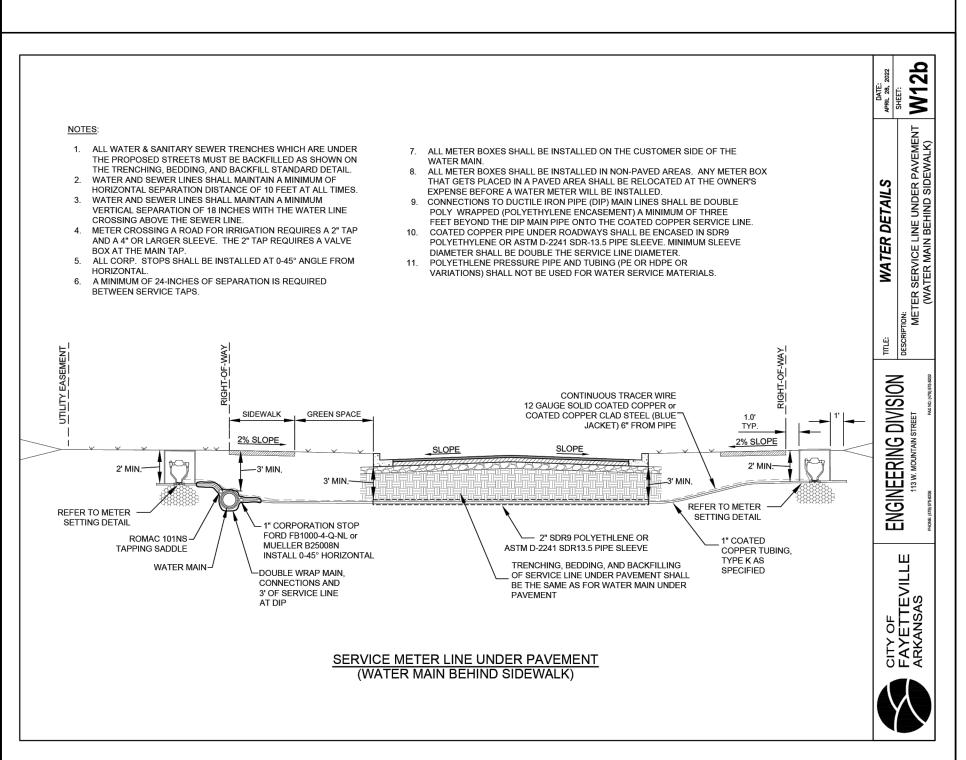


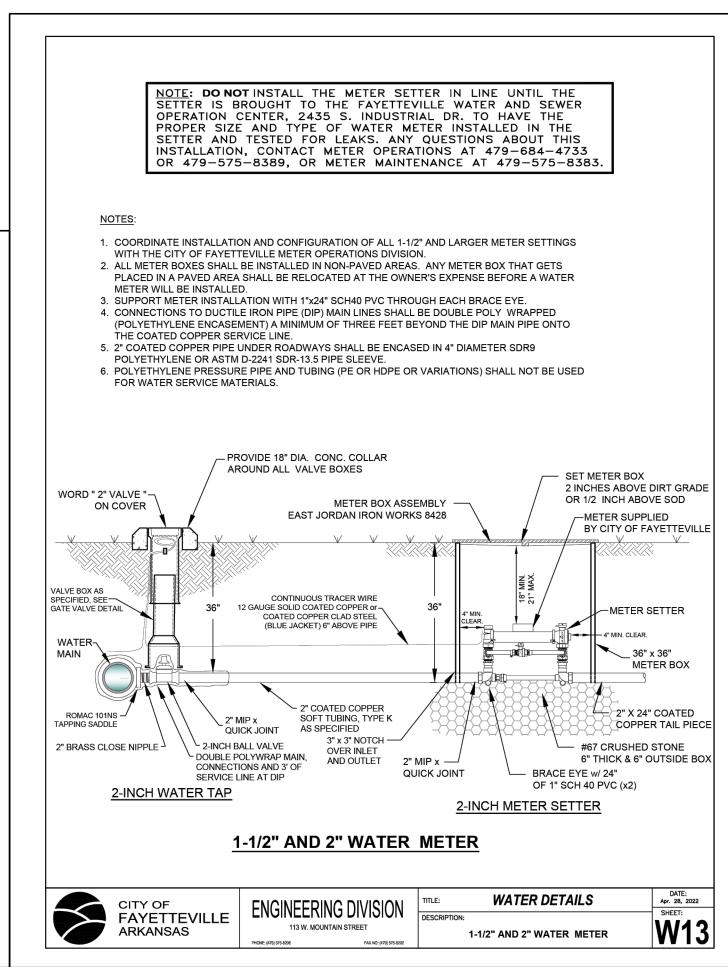


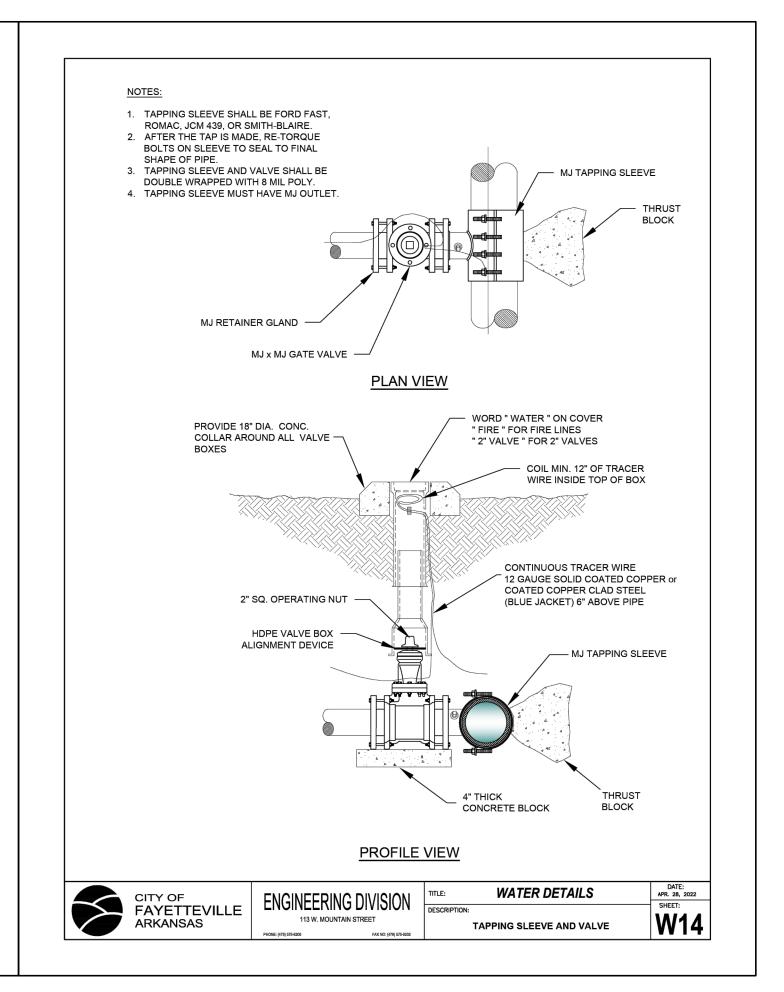


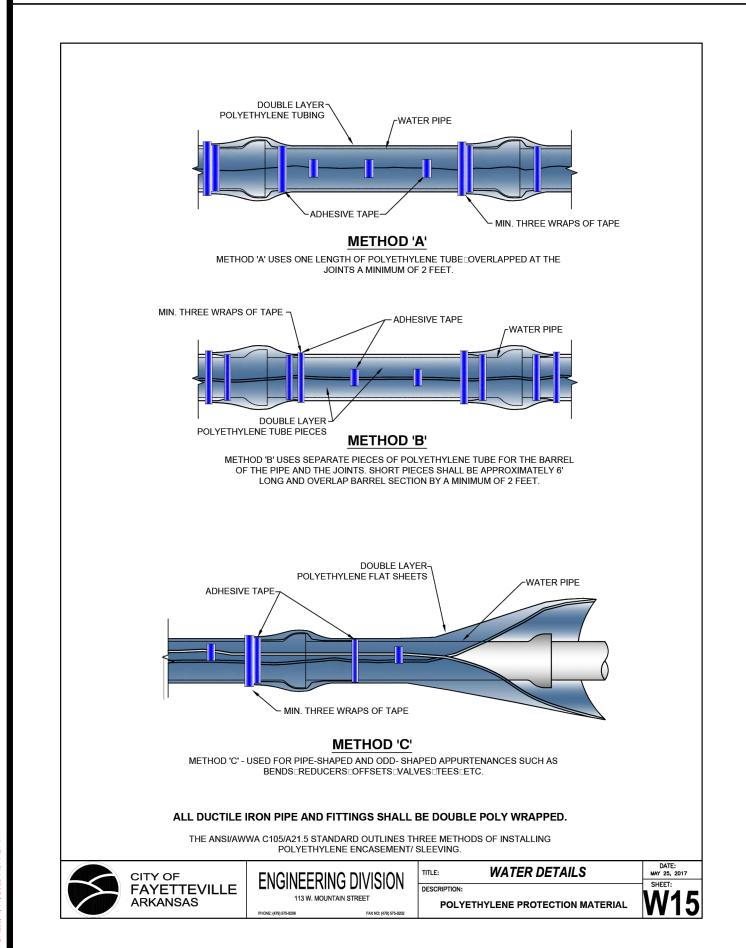
C-502

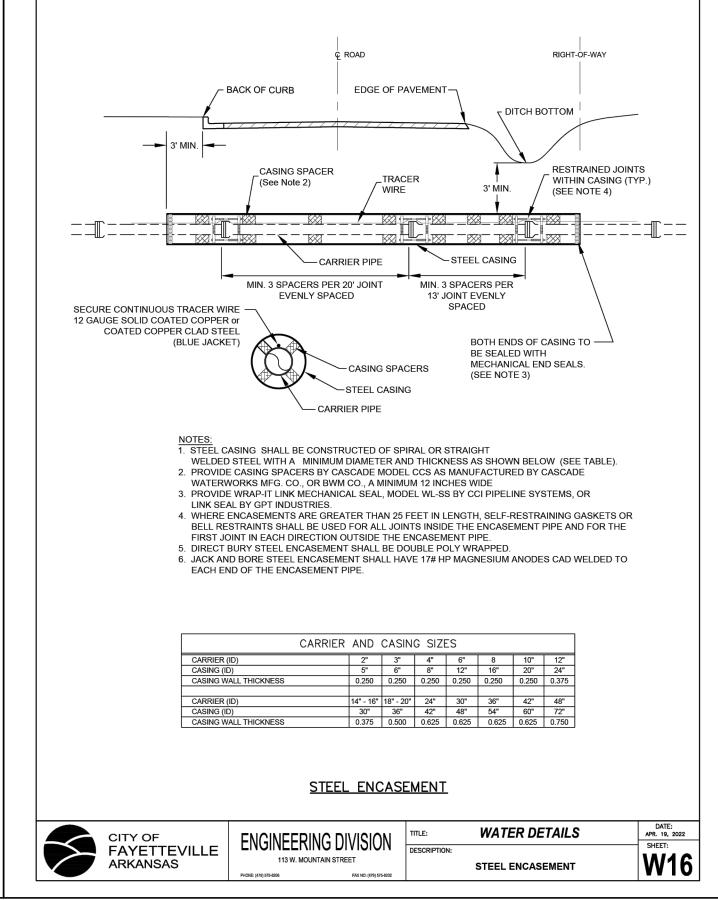
FARMINGTON, ARKANSAS

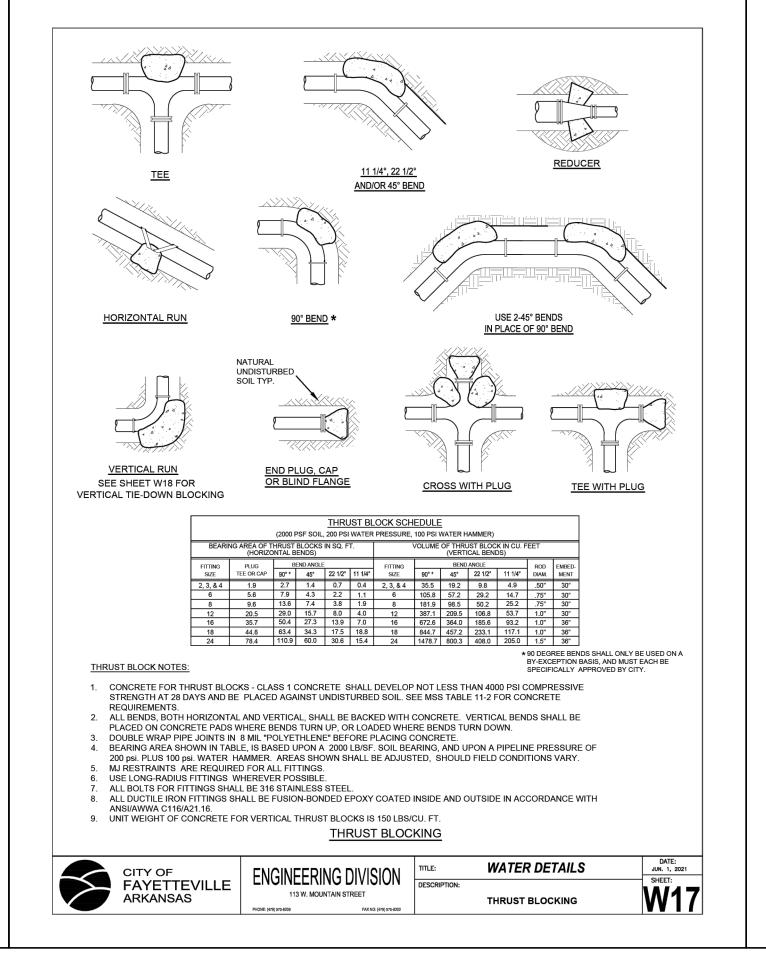


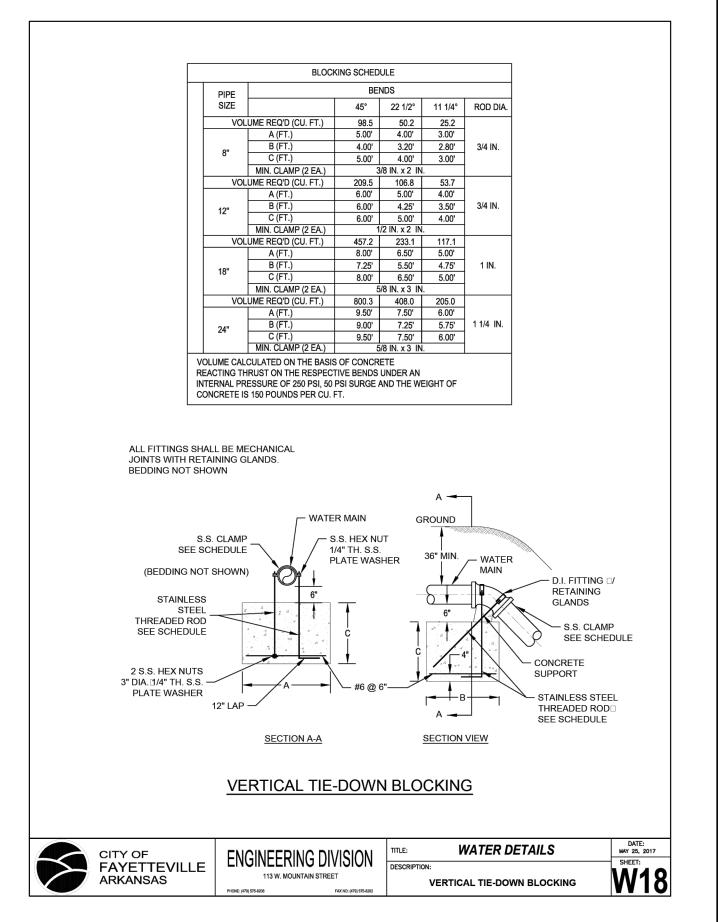


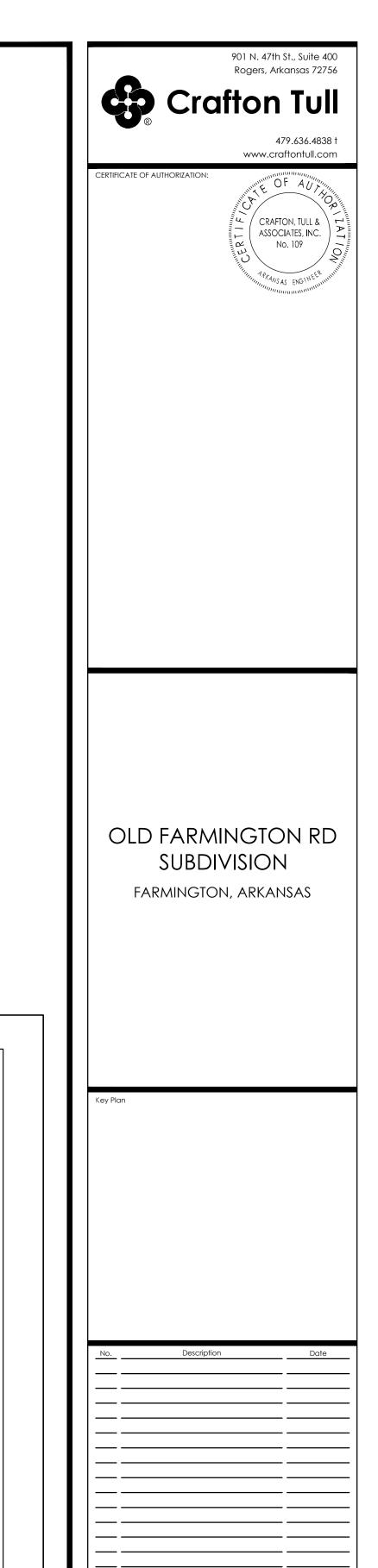


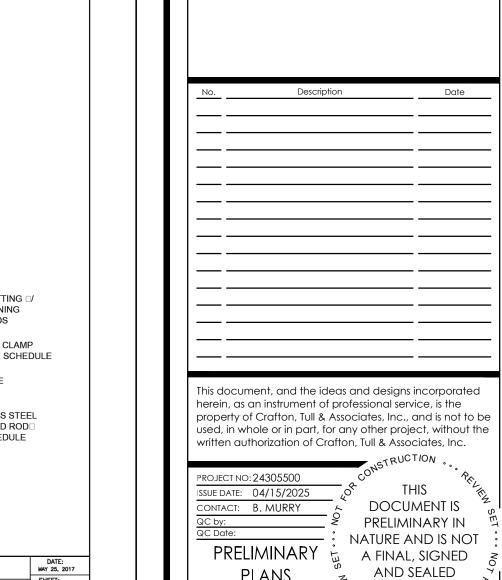






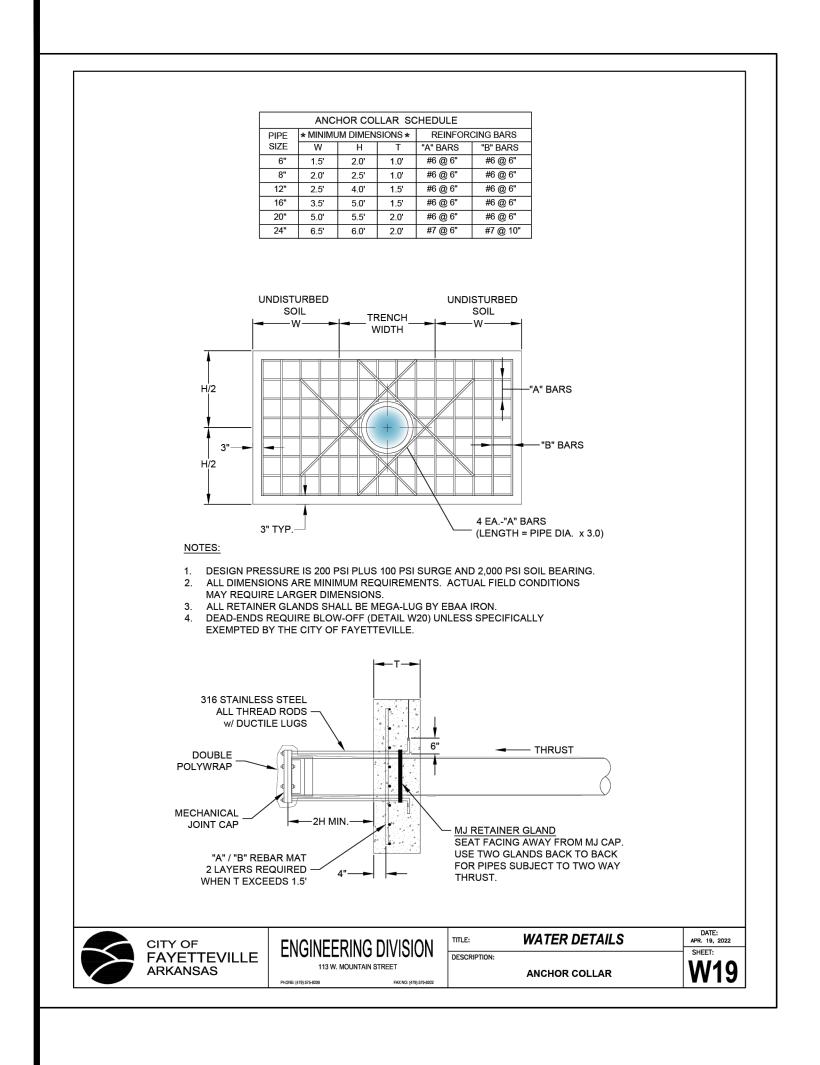


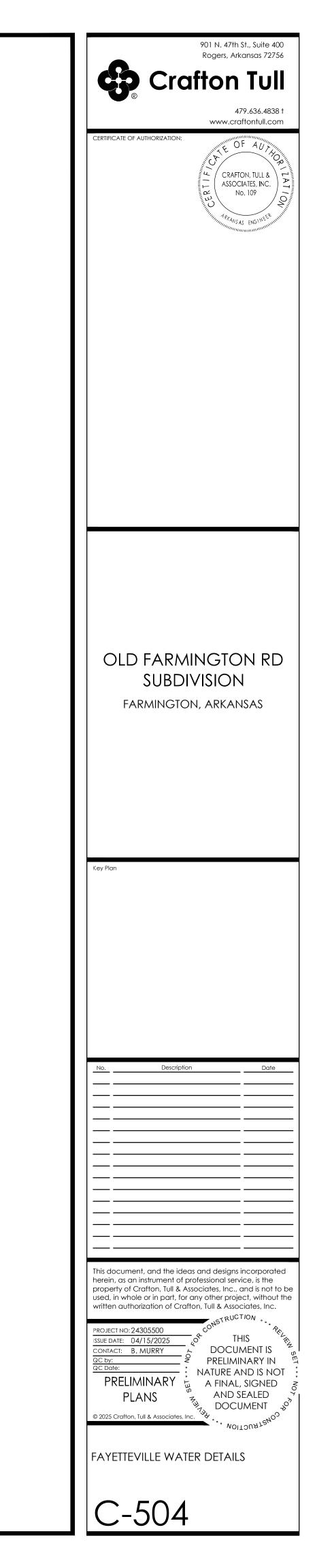




FAYETTEVILLE WATER DETAILS

DOCUMENT





RAWING; G:\24305500_OLDFARMRDSUBD\INFRASTRUCTURE\CIVIL\DWG\JFAYETTEVILLE WATER DE AYOUT: LAYOUTI (31) , LAST SAVED: ET2591, 4/9/2025 12:53:58 PM